

BRAND NEW CHURCH PARKING LOT EXTENSION Farmingington, Arkansas

LARGE SCALE DEVELOPMENT PLANS

GENERAL NOTES TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
3. EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
5. PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
7. CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
11. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
12. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
13. ALL MATERIALS AND CONSTRUCTION NOT UNDER THE JURISDICTION OF THE CITY OF FAYETTEVILLE OR WASHINGTON WATER AUTHORITY SHALL COMPLY WITH THE CITY OF FARMINGTON'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
14. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
15. THE CITY OF FAYETTEVILLE WILL BE REVIEWING THIS PROJECT FOR WATER AND SEWER SERVICE AS IT IS LOCATED WITHIN THE JURISDICTION OF THE CITY OF FAYETTEVILLE PER OUR RECORDS.
16. SANITARY SEWER SYSTEM MUST BE INSTALLED, INSPECTED, TESTED, AND CERTIFIED PER ALL CITY OF FAYETTEVILLE STANDARD SPECIFICATIONS FOR INSTALLATION OF SEWER LINES.
17. NO WORK ON THE SEWER-LINES SHOULD TAKE PLACE UNTIL PLANS ARE APPROVED, MATERIAL SUBMITTALS ARE REVIEWED AND APPROVED, AND A PRECONSTRUCTION CONFERENCE HAS OCCURRED AT THE CITY OF FAYETTEVILLE.
18. THIS PROJECT MUST MEET OR EXCEED THE CITY OF FAYETTEVILLE, ARKANSAS STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2017 EDITION.

REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

THERE ARE NO EXISTING WETLANDS ON THIS SITE.

FLOOD CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.
(FEMA FIRM MAP #05143C0195G. DATED 01/ 25/ 2024)

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

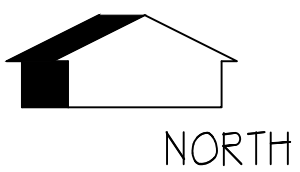
ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.



BASIS OF OBSERVATION:
GPS OBSERVATION — AR NORTH ZONE

VICINITY MAP
N.T.S.



BASIS OF ELEVATION:
BATES JOB 19-316

SURVEY DESCRIPTION:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARER OF SECTION 27, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING ROD WHICH IS S02°50'42"W 150.15' FROM A CONCRETE MONUMENT MARKING THE NORTHEAST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S02°21'21"W 713.69' TO AN EXISTING ALUMINUM MONUMENT ON THE NORTH RIGHT-OF-WAY OF U.S. HIGHWAY #62, THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING: S60°28'58"W 245.70' TO AN EXISTING ALUMINUM MONUMENT, S55°59'50"W 205.43', S42°06'22"W 51.69', THENCE LEAVING SAID RIGHT-OF-WAY N02°12'34"E 1001.95' TO AN EXISTING ROD, THENCE S88°03'52"E 409.71' TO THE POINT OF BEGINNING, CONTAINING 7.93 ACRES, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

GENERAL SURVEY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

INDEX OF DRAWINGS

- 01 COVER SHEET
- 02.0 EXISTING SITE + DEMOLITION PLAN
- 03.0-03.1 SITE PLAN
- 04.0 GRADING PLAN
- 05.0-05.1 LANDSCAPE PLAN
- 06.0 DETAILS

PROJECT SITE ADDRESS: 12838 RUBY RD
FARMINGTON, AR 72730

PARCEL: #760-01916-900

ACREAGE: 1.62

ZONING CLASSIFICATION: R-1

PROPOSED USE: CHURCH OR RELIGIOUS SERVICES PARKING

OWNER: BRAND NEW CHURCH
271 W MAIN ST
FARMINGTON, AR

ENGINEER/SURVEYOR: BATES & ASSOCIATES, INC.
7230 S. PLEASANT RIDGE DR.
FAYETTEVILLE, AR 72704
PHONE: (479) 442-9350

BUILDING SETBACKS R-1	
FRONT SETBACK	25 FEET
SIDE SETBACK	10 FEET
REAR SETBACK	20 FEET
LOT FRONTAGE	75 FEET

CONTACT INFORMATION

PLANNING & ZONING:	MELISSA MCCARVILLE CITY BUSINESS MANAGER 354 WEST MAIN FARMINGTON, AR 72730 PHONE: (479)267-3865	WATER/ SEWER:	CITY OF FAYETTEVILLE CORY GRANDERSON 125 W. MOUNTAIN AVE. FAYETTEVILLE, AR 72701 PHONE: (479) 444-3415
PUBLIC WORKS:	FLOYD SHELLEY PUBLIC WORKS DIRECTOR 380 BROYLES FARMINGTON, AR 72730 PHONE: (479)267-3865	GAS:	SOURCE GAS 655 E. MILLSAP RD. FAYETTEVILLE, AR 72701 PHONE: (800)563-0012
FIRE DEPT:	BILL HELLARD FIRE CHIEF 372 WEST MAIN P.O. BOX 150 FARMINGTON, AR 72730 PHONE: (479)267-3338	ELECTRIC:	OZARK ELECTRIC 3641 W. WEDINGTON DR FAYETTEVILLE, AR 72704 PHONE: (800) 521-6144
		WASTE:	WASTE MANAGEMENT SYSTEMS 11979 ARBOR ACRES RD FAYETTEVILLE, AR 72701 PHONE: (800)443-5558
		TELEPHONE:	PRAIRIE GROVE TELEPHONE CO 139 MOCK ST PRAIRIE GROVE, AR 72753 PHONE: (479)267-7200

ENGINEER: G. BATES

DRAWN BY: M. WILLIAMS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
GEOFFREY H. BATES

06-10-2025

BATES & ASSOCIATES, INC.
#335
ARKANSAS ENGINEER

CERTIFICATE OF AUTHORIZATION

Copyright © 2023 Bates & Associates, Inc.

REVISIONS		DATE
1ST SUBMITTAL		2/25/25
2ND SUBMITTAL		3/11/25
REMOVED PAVING FROM OUTSIDE THE PROPERTY BOUNDARY		5/12/25
3RD SUBMITTAL		5/19/25
4TH SUBMITTAL		6/10/25

BNC PARKING LOT

LARGE SCALE DEVELOPMENT PLANS

COVER SHEET

FARMINGTON, ARKANSAS

BATES

Engineers • Surveyors

7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / lbatesnwa.com

139

DRAWING NO.

01.0



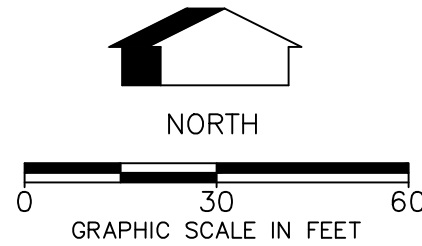
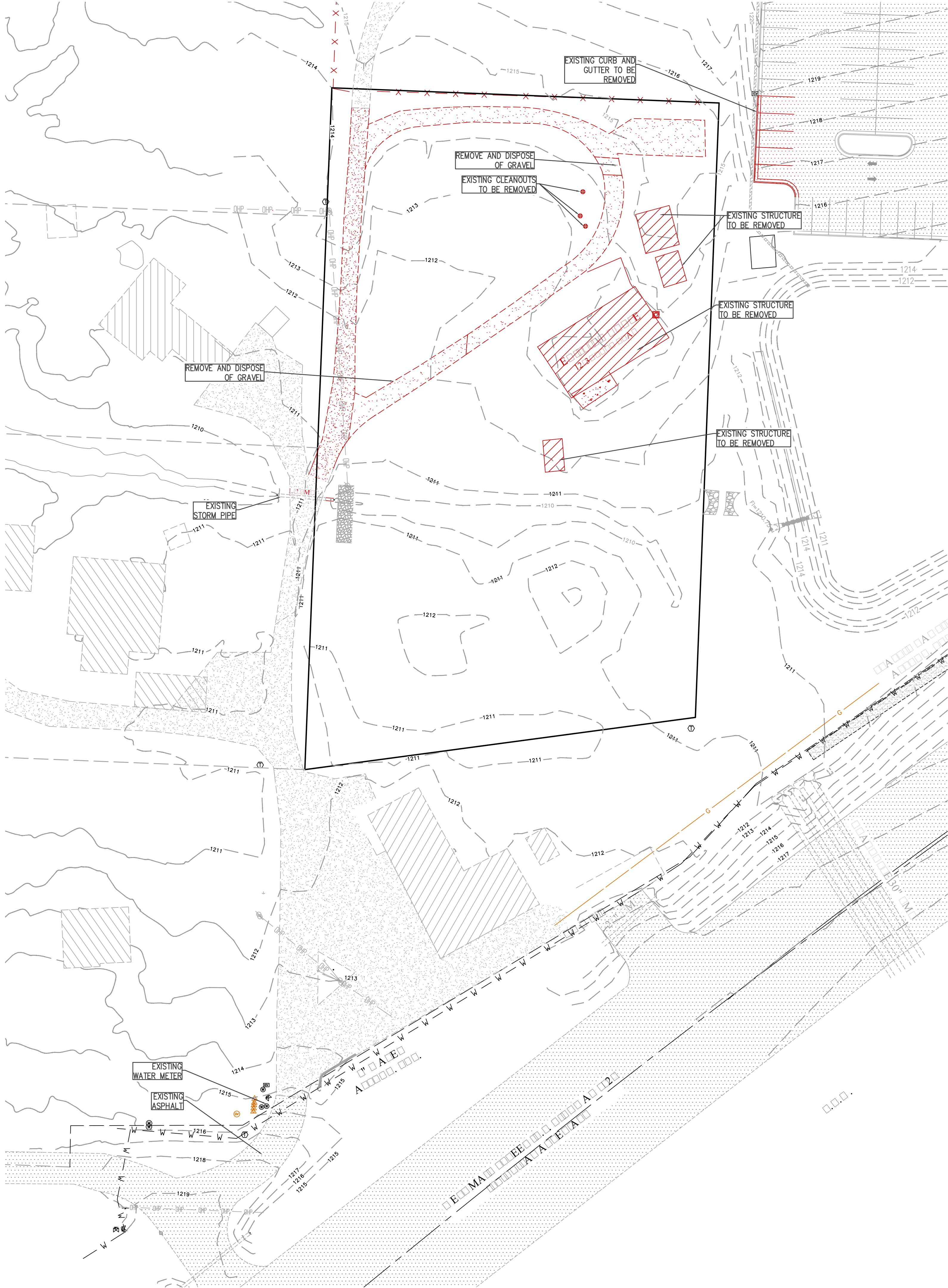
ADJACENT PROPERTY OWNERS:

- 1) KERSH, KENNETH GRAHAM & LILE
209 W 21ST ST
RUSSELLVILLE, AR, 72801
760-01916-901
ZONED: R-1
- 2) BRAND NEW CHURCH
271 W MAIN ST
FARMINGTON, AR, 72730
760-01916-800
ZONED: C-2
- 3) FIRST APOSTOLIC CHURCH
PO BOX 523
FAYETTEVILLE, AR, 72702-0523
760-01916-600
ZONED: R-1
- 4) ARKANSAS STATE HIGHWAY COMMISSION
PO BOX 2261
LITTLE ROCK, AR, 72203-2261
760-01916-700
ZONED: C-2
- 5) WHITNEY, JENNIFER LYNN
12881 TYLER RD
FARMINGTON, AR, 72730-8603
760-01916-400
ZONED: R-1
- 6) MCDONALD, JASON C & ELEANOR
PO BOX 734
ELKINS, AR, 72727
760-01916-303
ZONED: R-1
- 7) BLAVESCIUNAS, TERRY
PO BOX 543
FARMINGTON, AR, 72730
760-01916-301
ZONED: R-1
- 8) JORDAN, ALBERT & SARAH A
12843 RUBY RD
FARMINGTON, AR, 72730
760-01916-200
ZONED: R-1

CITY NOTE:
ALL WORK WITHIN THE CITY OF FARMINGTON RIGHT OF WAY SHALL COMPLY WITH THE CITY OF FARMINGTON STANDARDS AND WILL REQUIRE INSPECTION BY THE CITY OF FARMINGTON.

FLOOD CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.
(FIRM PANEL #0514300195G, DATED 01/25/2024)

- CONSTRUCTION NOTES:**
1. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
 2. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
 3. ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDING WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
 5. ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
 6. ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELED OR SWEEPED AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
 7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF FARMINGTON OR THEIR REPRESENTATIVE. 48 HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.



REVISIONS	DATE
1ST SUBMITTAL	2/25/25
2ND SUBMITTAL	3/11/25
REMOVED PAVING FROM OUTSIDE THE PROPERTY BOUNDARY	5/12/25
3RD SUBMITTAL	5/19/25
4TH SUBMITTAL	6/10/25

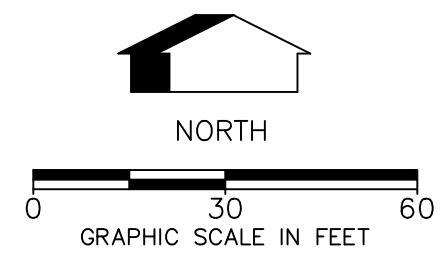
BNC PARKING LOT
LARGE SCALE DEVELOPMENT PLANS
DEMOLITION PLAN
FARMINGTON, ARKANSAS

BATES
Engineers • Surveyors
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / batesnwa.com

DRAWING NO.
02.0

PARKING REQUIREMENTS C-2 HIGHWAY COMMERCIAL-

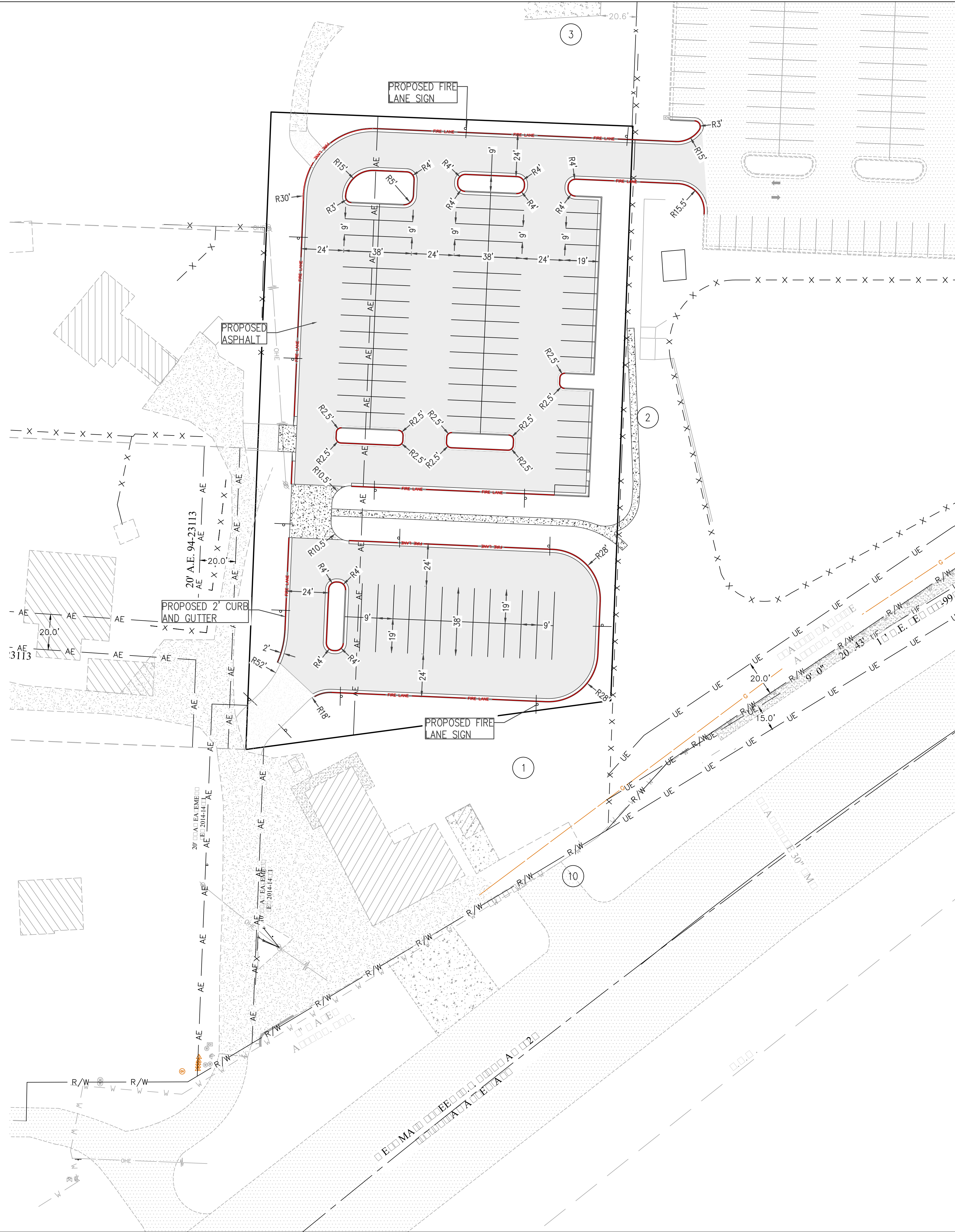
TOTAL STANDARD PARKING PROPOSED:	101 SPACES
----------------------------------	------------



CITY NOTE:

ALL WORK WITHIN THE CITY OF FARMINGTON RIGHT OF WAY SHALL COMPLY WITH THE CITY OF FARMINGTON STANDARDS AND WILL REQUIRE INSPECTION BY THE CITY OF FARMINGTON.

PROPOSED		LEGEND	DESCRIPTION
AE	AE	EXISTING	ACCESS EASEMENT
			ASPHALT (EDGE)
			ASPHALT (SURFACE)
			BOLLARD
			BUILDING
		BSB BSB	BUILDING SETBACK LINE
			CABLE TV (UNDERGROUND)
			CENTERLINE
			CONCRETE (EDGE)
			CONCRETE (SURFACE)
			CONDUIT
			CONTOURS
			CURB & GUTTER
			DRAINAGE FLOW
			DUMPMSTER
			UTILITY EASEMENT
			ELECTRICAL (UNDERGROUND)
			ELECTRICAL (OVERHEAD)
			ELECT. TRANSFORMER
			EROSION CONTROL FENCE
			EROSION CONTROL RIP-RAP
			FENCE (EX. WIRE P.R. SCREENING)
			FIBER OPTIC CABLE
			FIRE HYDRANT ASSEMBLY
			FLOWLINE
			FORCE MAIN
			GAS MAIN
			GAS METER/VALVE
			GRAVEL (EDGE)
			GRAVEL (SURFACE)
			IRON PUN - (RE-BAR)
			LIGHT
			POND
			POWER POLE
			PROPERTY LINE
			RETAINING WALL
			RIGHT-OF-WAY
			SANITARY SEWER MANHOLE
			SANITARY SEWER PIPE
			SANITARY SEWER SERVICE
			SECTION/TIE LINE
			SIDEWALK
			SIGN
			SPOT ELEVATION
			STABILIZED CONSTRUCTION ENT.
			STORM SEWER INLET
			STORM SEWER PIPE
			STRIPES (PAINTED OR STICKY)
			TELEPHONE PED/MANHOLE
			TELEPHONE (UNDERGROUND)
			TREE LINE CANOPY
			TREE/TREE TO BE REMOVED
			WATER MAIN BLOWOFF VALVE
			WATER MAIN FIRE DEPT. CONN.
			WATER MAIN PIPE
			WATER MAIN REDUCER
			WATER MAIN THRUST BLOCK
			WATER METER
			WATER METER (IRRIGATION)
			WATER VALVE




ENGINEER: G. BATES

DRAWN BY: M. WILLIAMS



REVISIONS	DATE
1ST SUBMITTAL	2/25/25
2ND SUBMITTAL	3/11/25
REMOVED PAING FROM OUTSIDE THE PROPERTY BOUNDARY	5/12/25
3RD SUBMITTAL	5/19/25
4TH SUBMITTAL	6/10/25

BNC PARKING LOT
LARGE SCALE DEVELOPMENT PLANS
SITE PLAN
FARMINGTON, ARKANSAS



BATES

Engineers • Surveyors

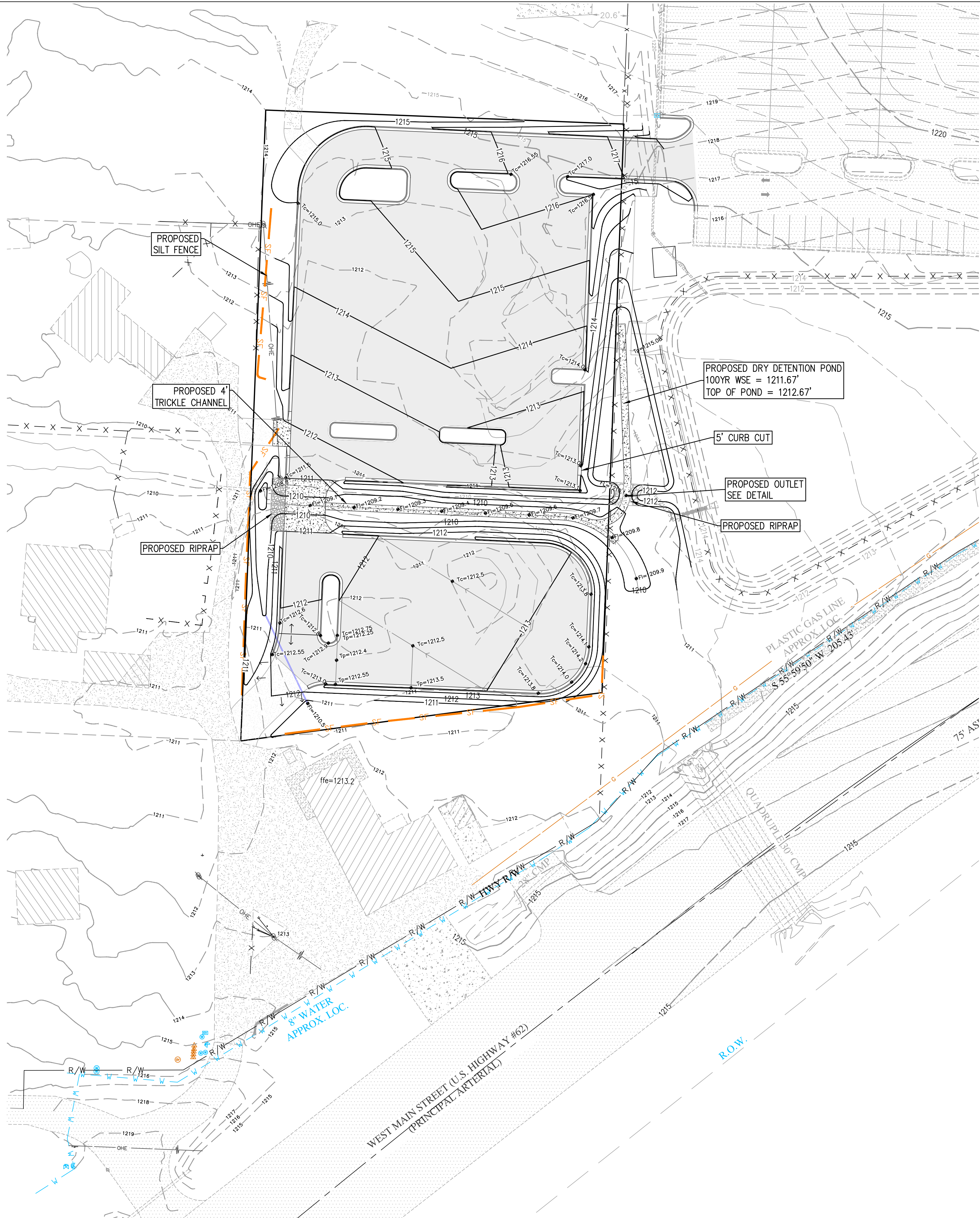
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / batesnwa.com

DRAWING NO.

03.0



LEGEND		DESCRIPTION
PROPOSED	EXISTING	
		ACCESS EASEMENT
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BUILDING
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONTOURS
		CURB & GUTTER
		DRAINAGE FLOW
		DUMPSTER
		UTILITY EASEMENT
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL FENCE
		EROSION CONTROL RIP-RAP
		FENCE (EX. WIRE/P.R. SCREENING)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		FORCE MAIN
		GAS MAIN
		GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
		IRON PIN - (RE-BAR)
		LIGHT
		POND
		POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		SECTION/TIE LINE
		SIDEWALK
		SIGN
		SPOT ELEVATION
		STABILIZED CONSTRUCTION ENT.
		STORM SEWER INLET
		STORM SEWER PIPE
		STRIPES (PAINTED OR STICKY)
		TELEPHONE PED./MANHOLE
		TELEPHONE (UNDERGROUND)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		WATER MAIN BLOWOFF VALVE
		WATER MAIN FIRE DEPT. CONN.
		WATER MAIN PIPE
		WATER MAIN REDUCER
		WATER MAIN THRUST BLOCK
		WATER METER
		WATER METER (IRRIGATION)
		WATER VALVE



NORTH

0 30 60

GRAPHIC SCALE IN FEET

CITY NOTE:

ALL WORK WITHIN THE CITY OF FARMINGTON RIGHT OF WAY SHALL COMPLY WITH THE CITY OF FARMINGTON STANDARDS AND WILL REQUIRE INSPECTION BY THE CITY OF FARMINGTON.

- CONSTRUCTION NOTES:
1. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
 2. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
 3. ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDING WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
 5. ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
 6. ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELED OR SWEEP AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
 7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF FARMINGTON OR THEIR REPRESENTATIVE. 48 HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.

- REVEGETATION NOTES:
- REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE THE FOLLOWING:
- PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
 - TOP SOIL. TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
 - EXISTING VEGETATION. EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
 - SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
 - 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.

- SEDIMENT & EROSION CONTROL NOTES:
1. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
 2. CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
 3. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
 4. ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
 5. THE PROPERTY OWNER OR MAIN CONTRACTOR ON SITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.

ENGINEER: G. BATES

06-10-2025

DRAWN BY: M. WILLIAMS

Copyright © 2023 Bates & Associates, Inc.

DATE	REVISIONS
2/25/25	1ST SUBMITTAL
3/11/25	2ND SUBMITTAL
5/12/25	REMOVED PAVING FROM OUTSIDE THE PROPERTY BOUNDARY
5/19/25	3RD SUBMITTAL
6/10/25	4TH SUBMITTAL

BNC PARKING LOT

LARGE SCALE DEVELOPMENT PLANS

GRADING PLAN

FARMINGTON, ARKANSAS

BATES

Engineers • Surveyors

7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / lbatesnwa.com

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

PROVIDE TREES, SHRUBS, GROUND COVERS, SOD, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:

1. SOIL PREPARATION.
2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
3. PLANTING MIXES.
4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.
5. MAINTENANCE.

QUALITY ASSURANCE

PLANT NAMES INDICATED; COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE PLANTS INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH APPROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HEEDLED IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS; AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DROUGHT, BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, HAILSTORMS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.

MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.

1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO; ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF "THE AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.
2. CONTAINER- GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - a. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - b. CONTAINER STOCK SHALL NOT BE POT BOUND.
3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.
4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT
 - a. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 - a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
 - b. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
 - c. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.
 - d. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES

TOPSOIL, SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

1. SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
3. LANDSCAPE ISLANDS/MEDIANS: FRACTURE/LOOSEN EXISTING SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.
4. ANNUAL/PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MUCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

1. HARDWOOD: 6 MONTH OLD WELL-ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3".

PART 3 - EXECUTION

INSPECTION

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT; SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2" - 3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MUDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.

1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL.

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

SOD

1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

PRUNING:

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

WORKMANSHIP

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE; UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

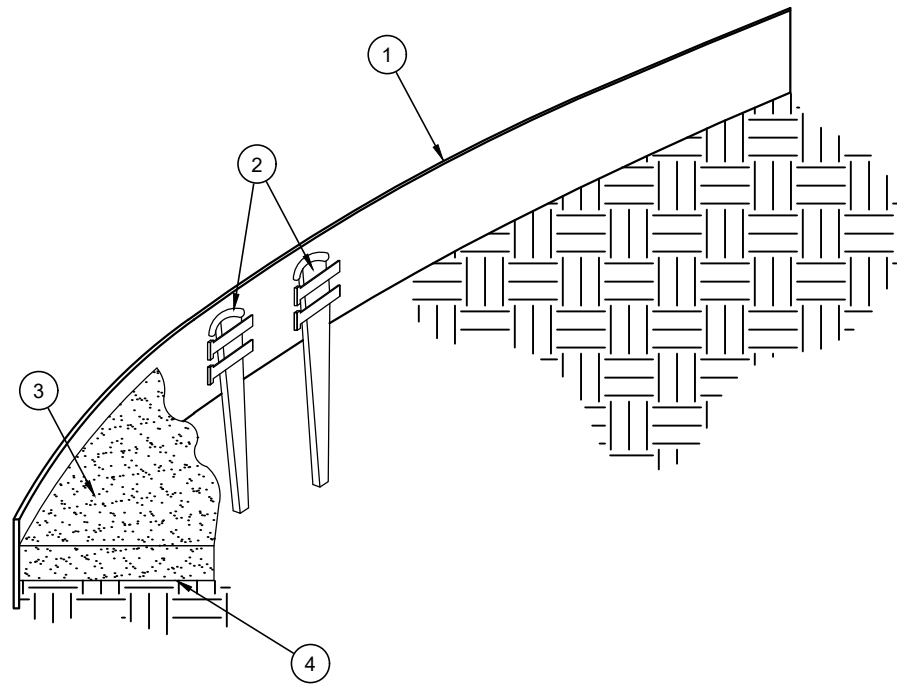
ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

MAINTENANCE

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASE.

1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR.
3. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.



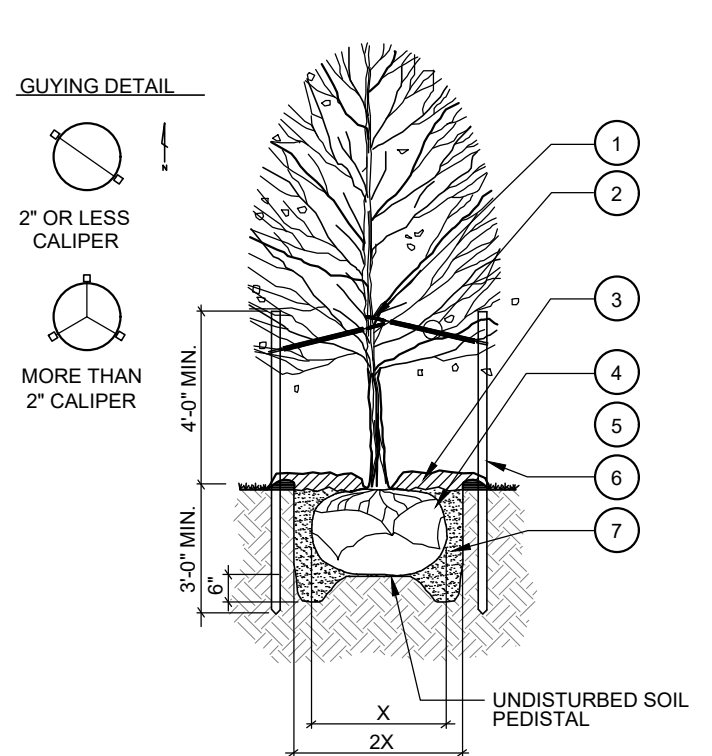
1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:

1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

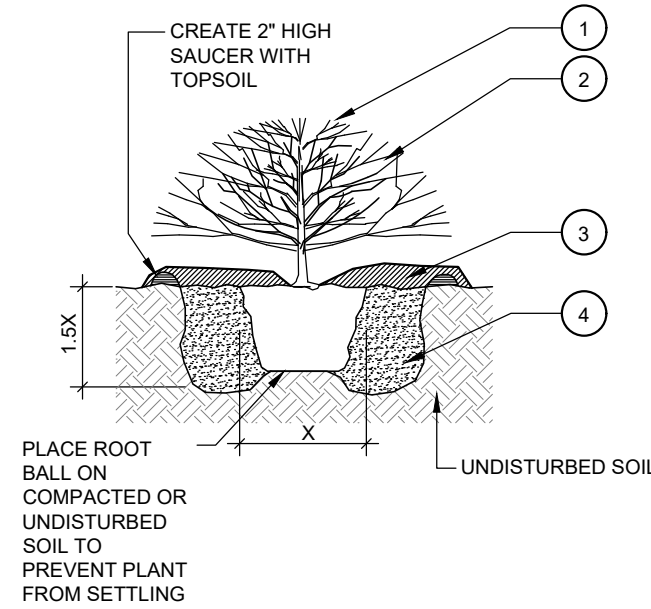
STEEL EDGING DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING LEGEND

SYMBOL DESCRIPTION

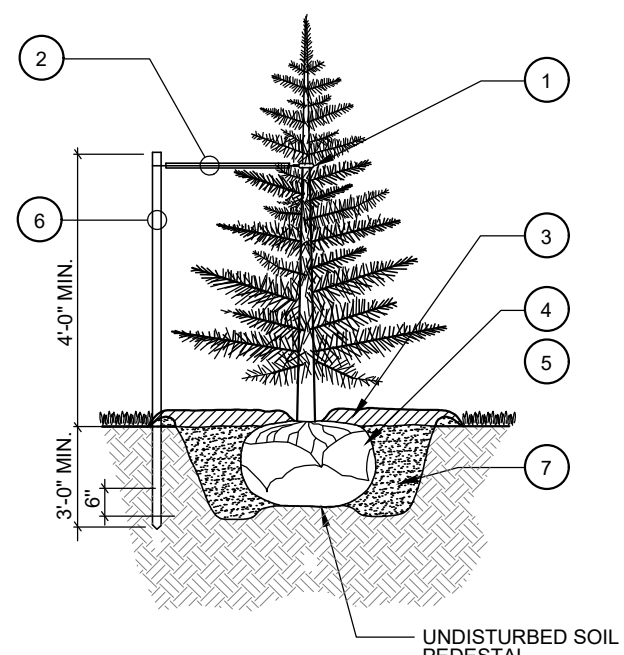
1. PRUNE BROKEN AND DAMAGED TWIGS AFTER PLANTING DO NOT PRUNE OR DAMAGE CENTRAL LEADER.
2. PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER AND PLANT LABEL PRIOR TO PLACING BACKFILL.
3. 3" - 4" OF MULCH AS SPECIFIED. DO NOT PLACE MULCH DIRECTLY AGAINST STEMS.
4. PREPARED BACKFILL AND FERTILIZE PER SPECIFICATION. TAMP AND SOAK. BACKFILL AFTER PLANTING. MAINTAIN AFTER PLANTING PER SPECIFICATIONS.

PLANTING NOTES

- A. HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB GROWN SHOULD BE PLACED SLIGHTLY HIGHER (1-2") ABOVE THAN SURROUNDING FINISHED GRADE.
- B. SCORE ROOTBALL BY CUTTING 1/2" VERTICAL GROVES 3" APART.
- B. SPACE PLANTS PER PLANTING PLAN

CONTAINER SHRUB PLANTING DETAIL

N.T.S.



EVERGREEN TREE PLANTING DETAIL

N.T.S.

EVERGREEN TREE PLANTING LEGEND

SYMBOL DESCRIPTION

1. TREE STRAP LOOP AT FIRST BRANCH. USE RUBBER HOSE OR APPROVED EQUAL TO PREVENT DAMAGE TO TREE.
2. 12 GAUGE GALVANIZED WIRE & 1-1/2 PVC PIPE
3. 4" ORGANIC MULCH PER SPECIFICATIONS. DO NOT PLACE MULCH AGAINST TREE TRUNK.
4. REMOVE WIRE BASKET AND REMOVE BURLAP & ROPE FROM TOP 1/3 OF ROOT BALL.
5. TREE SAUCER (FORMED BY MIN. 4" THICK MULCH)
6. 8" METAL TEE STAKE. KEEP STAKE PLUMB AND SECURED OUTSIDE OF TREE PIT. PLACE STAKE ON SIDE OF PREVAILING WIND.
7. PREPARED BACKFILL-TAMP TO PREVENT SETTLEMENT. SOAK BACKFILL AFTER PLANTING.

PLANTING NOTES

- A. RETAIN NATURAL SHAPE. DO NOT SHEAR OR CUT CENTRAL LEADER. TREES WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
- B. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- C. TREES TO BE INSTALLED SO TOP OF ROOT BALLS 2-3" HIGHER THAN ADJACENT SURROUNDING GRADE. PLANTS TOO LARGE FOR 2 PERSONS TO LIFT IN AND OUT OF HOLES SHALL BE PLACED WITH SLING. DO NOT ROCK TREES IN HOLES TO RAISE.
- E. PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
- F. IF POSSIBLE MARK TREE TRUNK ON THE NORTHERN SIDE AT THE NURSERY AND PLANT TREE WITH MARK FACING NORTH.
- G. TOPSOIL USED SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.

ENGINEER: G. BATES

DRAWN BY: JWG

DATE	REVISIONS
2/25/25	1ST SUBMITTAL
3/11/25	2ND SUBMITTAL
5/12/25	REMOVED PAVING FROM OUTSIDE THE PROPERTY BOUNDARY
5/19/25	3RD SUBMITTAL
6/10/25	4TH SUBMITTAL

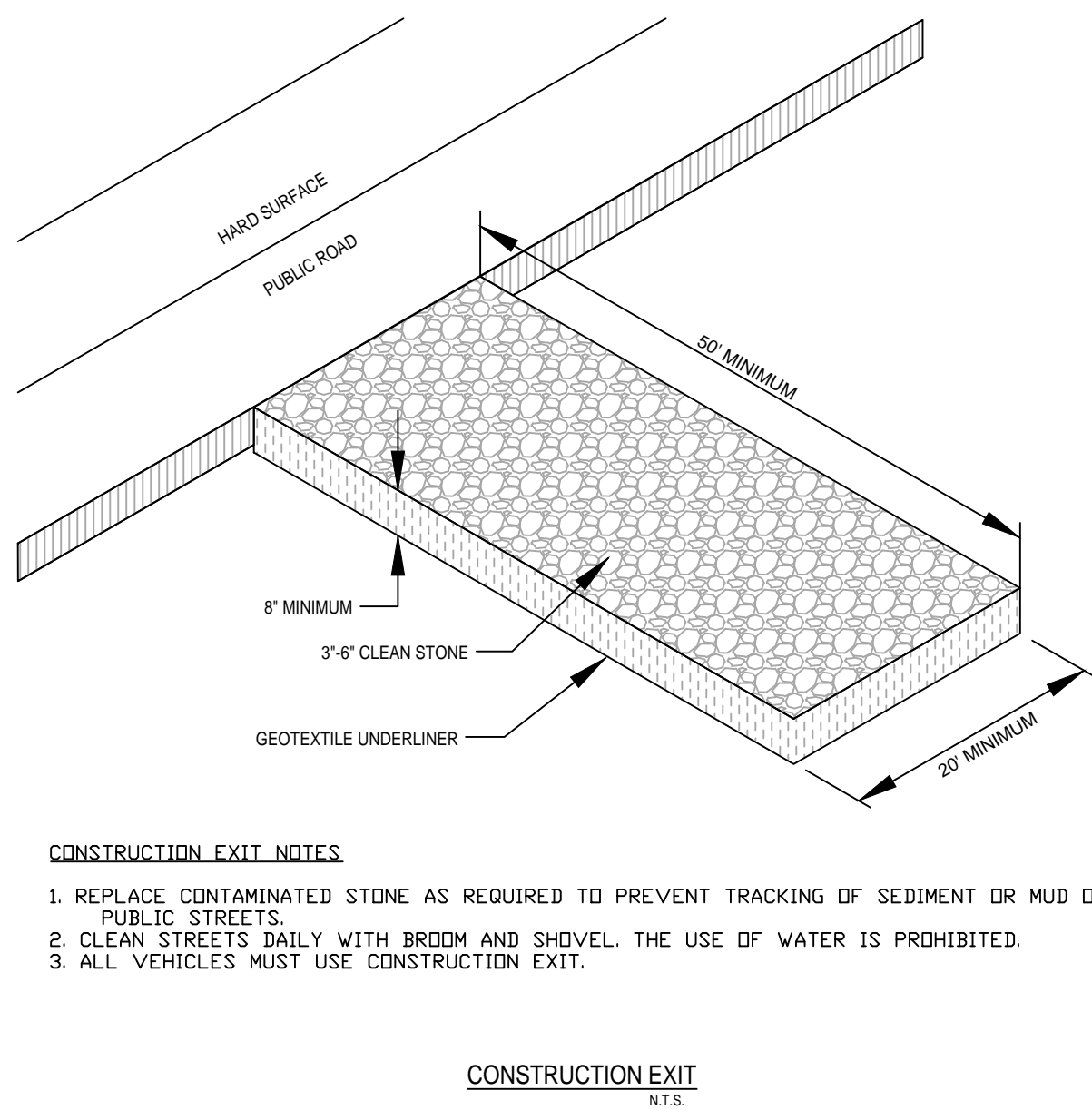
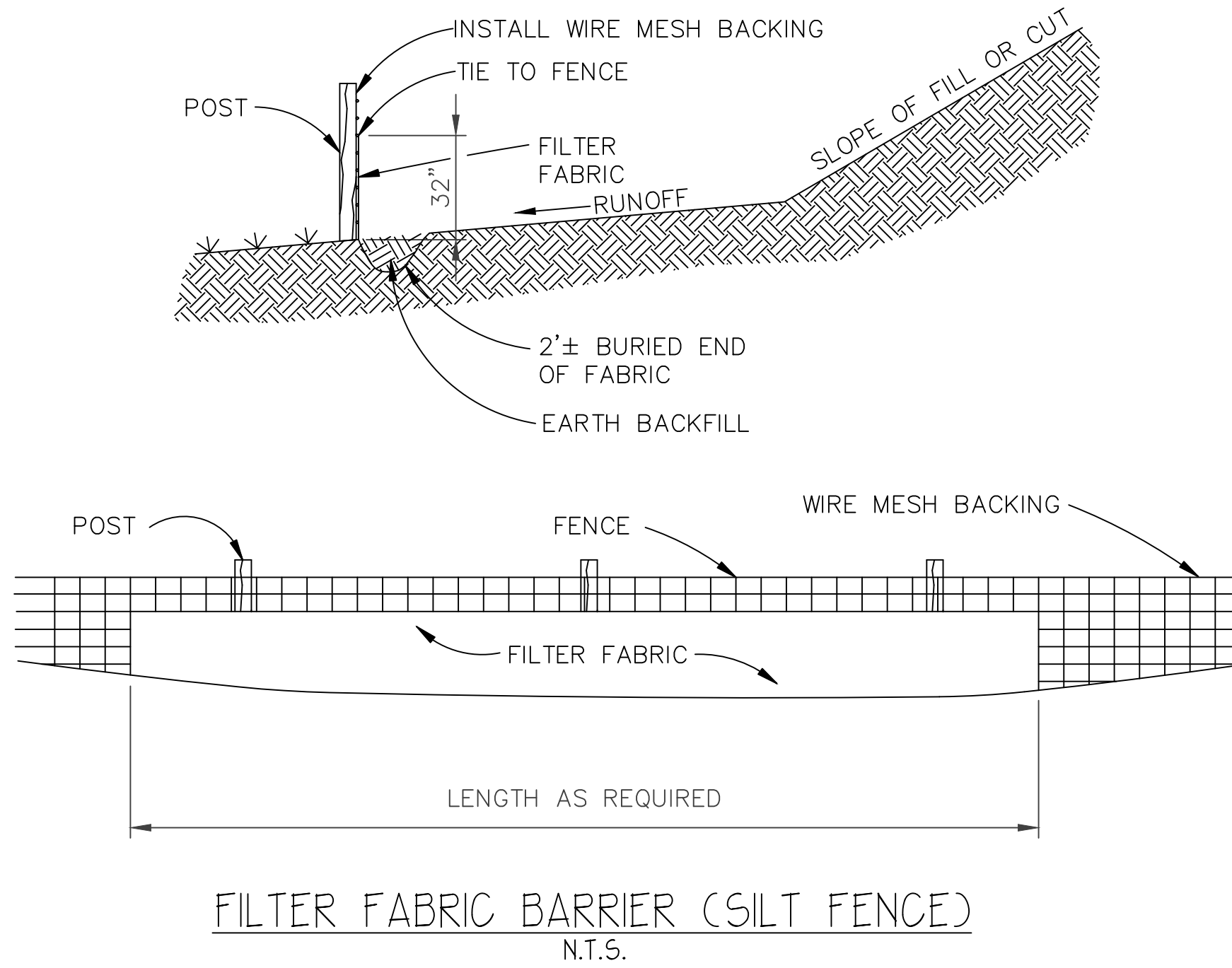
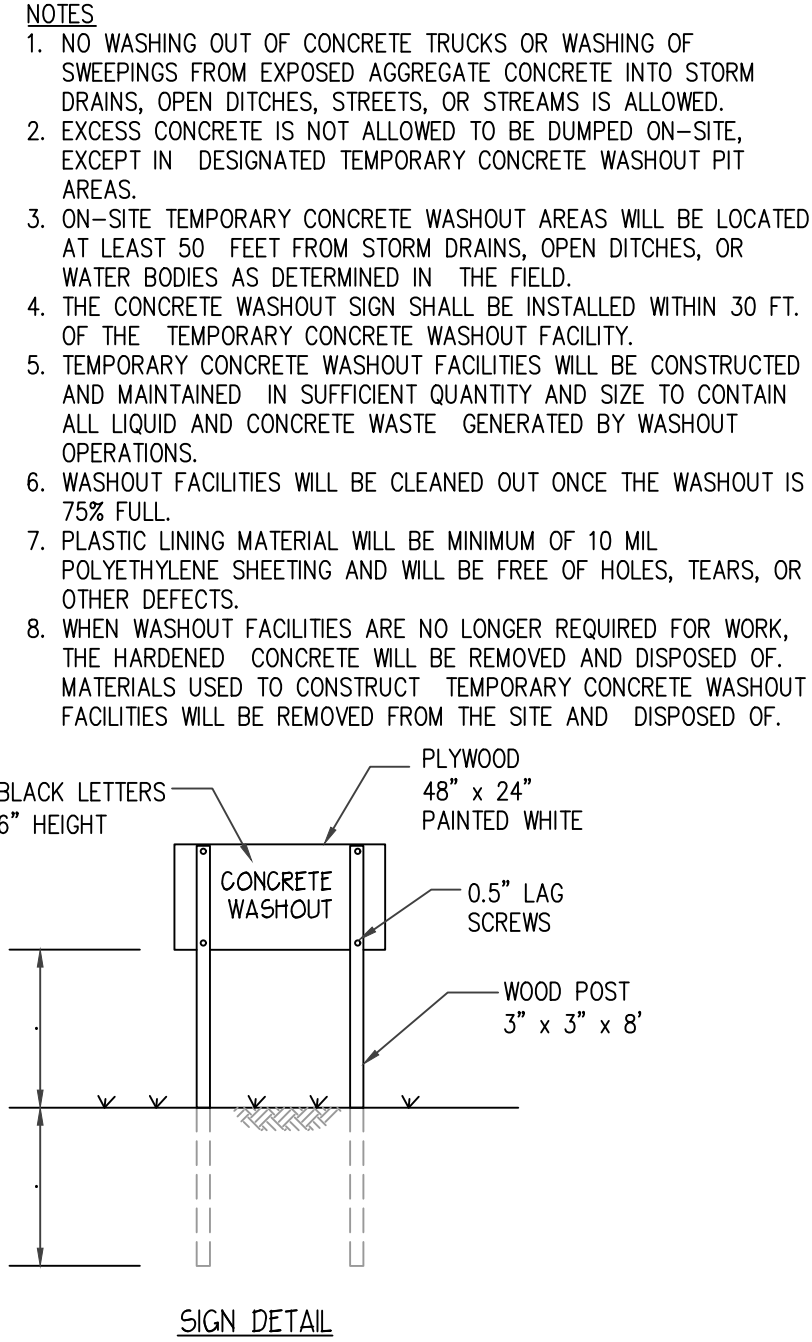
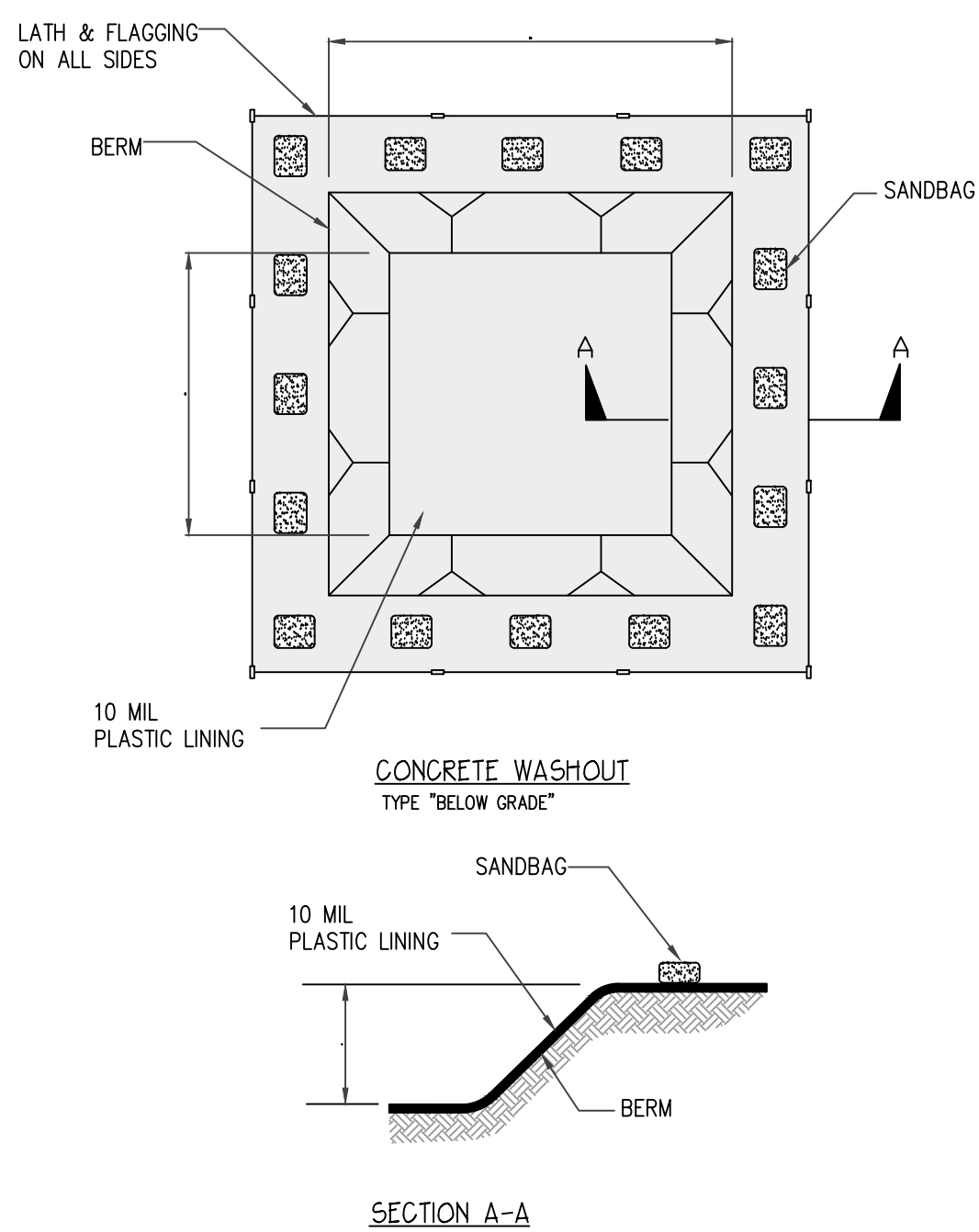
BNC PARKING LOT
LARGE SCALE DEVELOPMENT PLANS
LANDSCAPE DETAILS AND
SPECIFICATIONS
FARMINGTON, ARKANSAS

BATES
Engineers - Surveyors
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / batesnwa.com

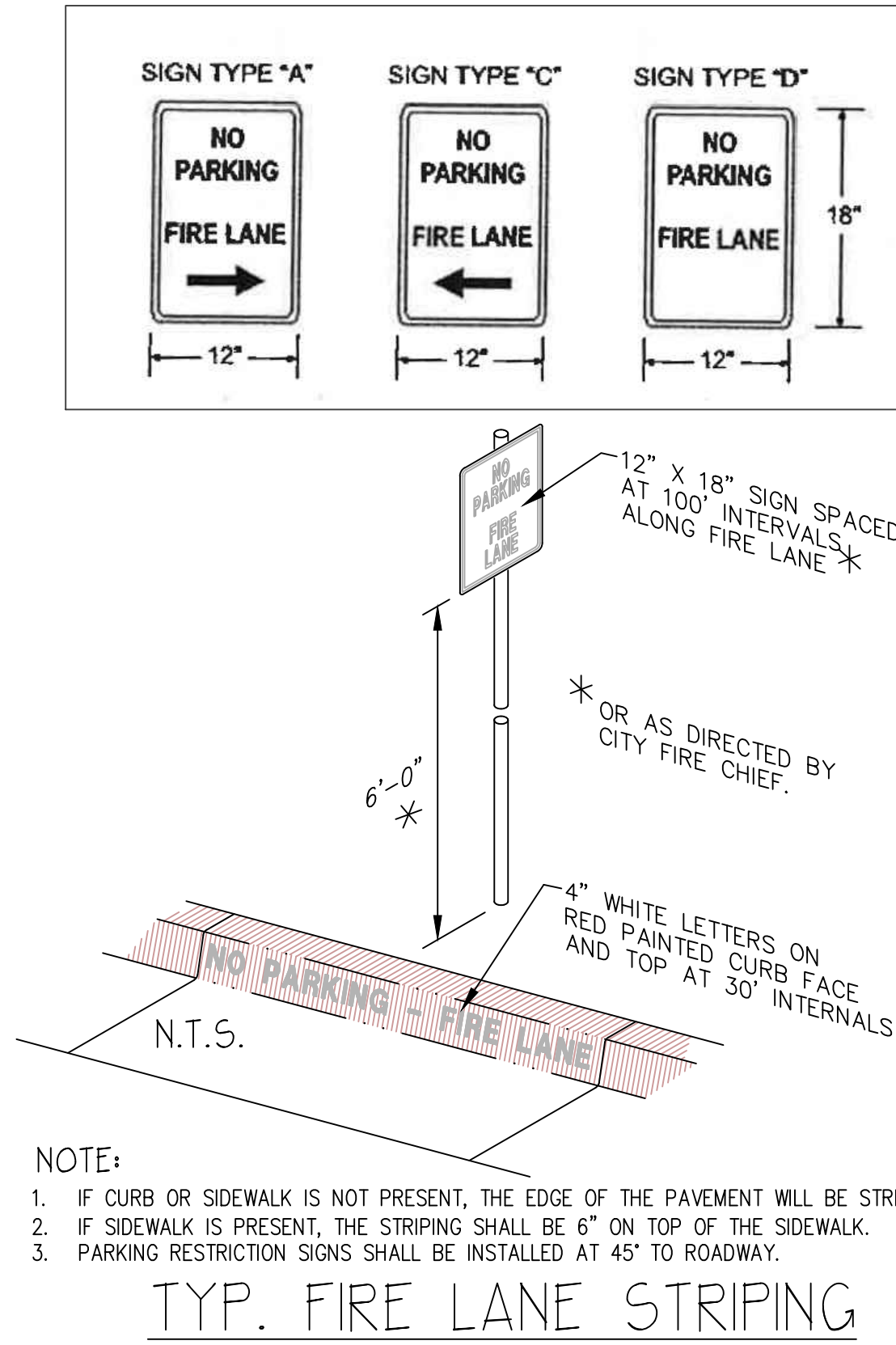
DRAWING NO.

L-101

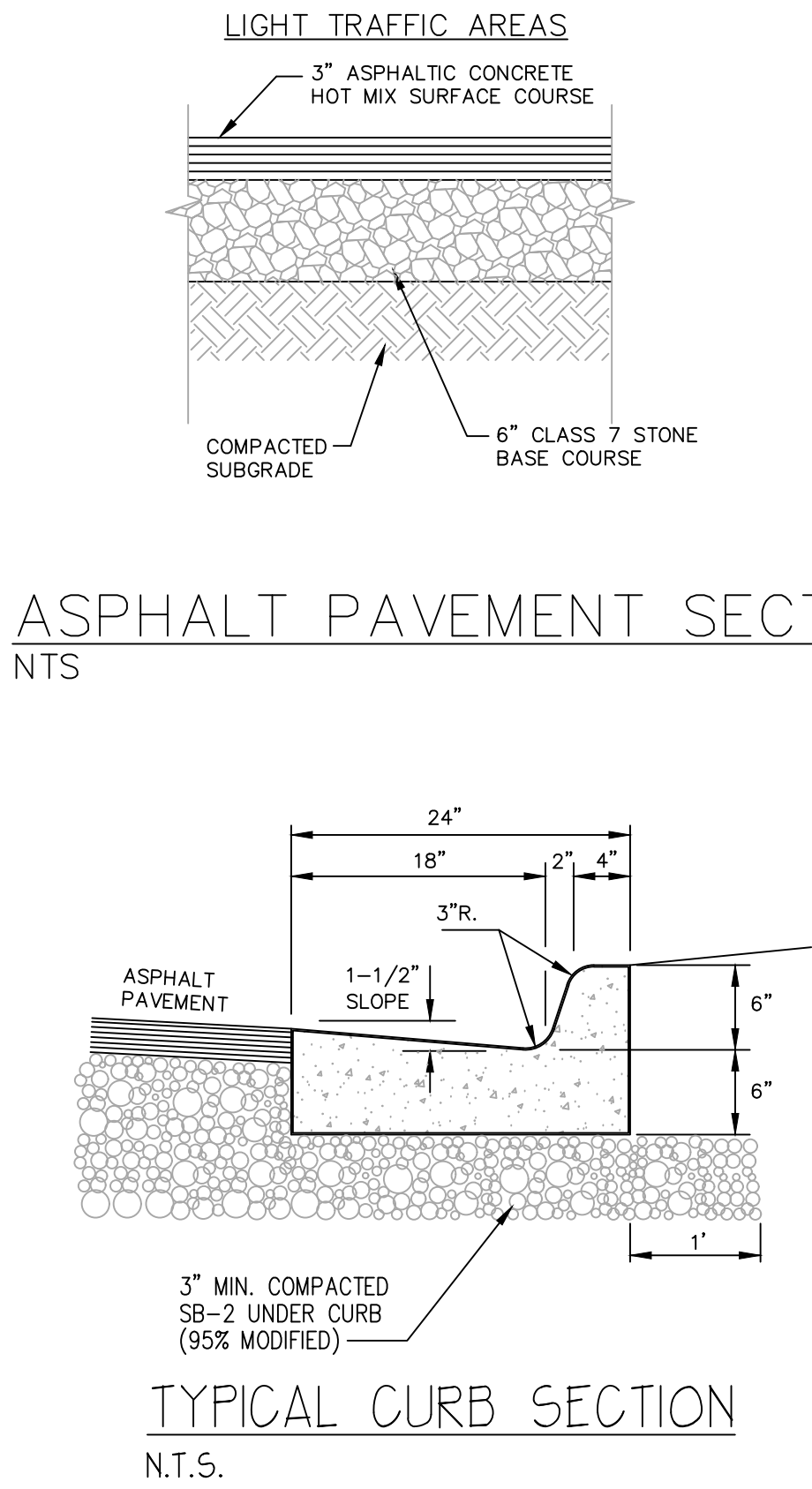
PROJECT NO. 21-366



- CONSTRUCTION EXIT NOTES:**
1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR MUD ON PUBLIC STREETS.
 2. CLEAN STREETS DAILY WITH BROOM AND SHOVEL. THE USE OF WATER IS PROHIBITED.
 3. ALL VEHICLES MUST USE CONSTRUCTION EXIT.



- NOTE:**
1. IF CURB OR SIDEWALK IS NOT PRESENT, THE EDGE OF THE PAVEMENT WILL BE STRIPED.
 2. IF SIDEWALK IS PRESENT, THE STRIPING SHALL BE 6" ON TOP OF THE SIDEWALK.
 3. PARKING RESTRICTION SIGNS SHALL BE INSTALLED AT 45° TO ROADWAY.

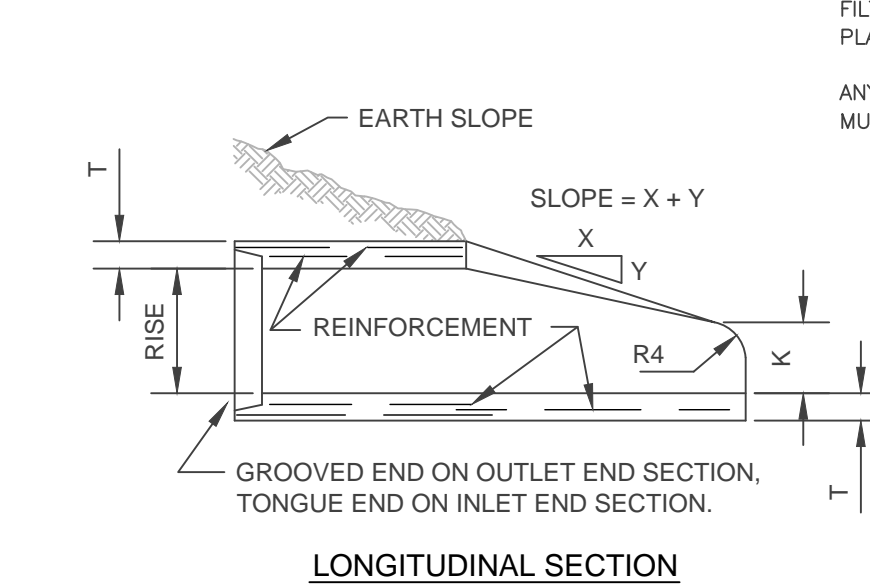
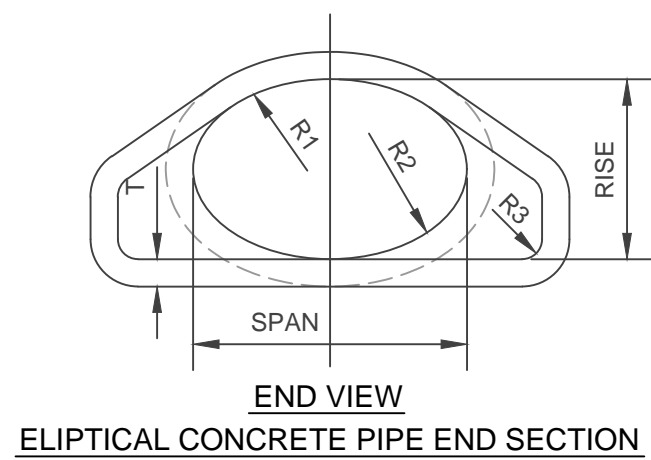
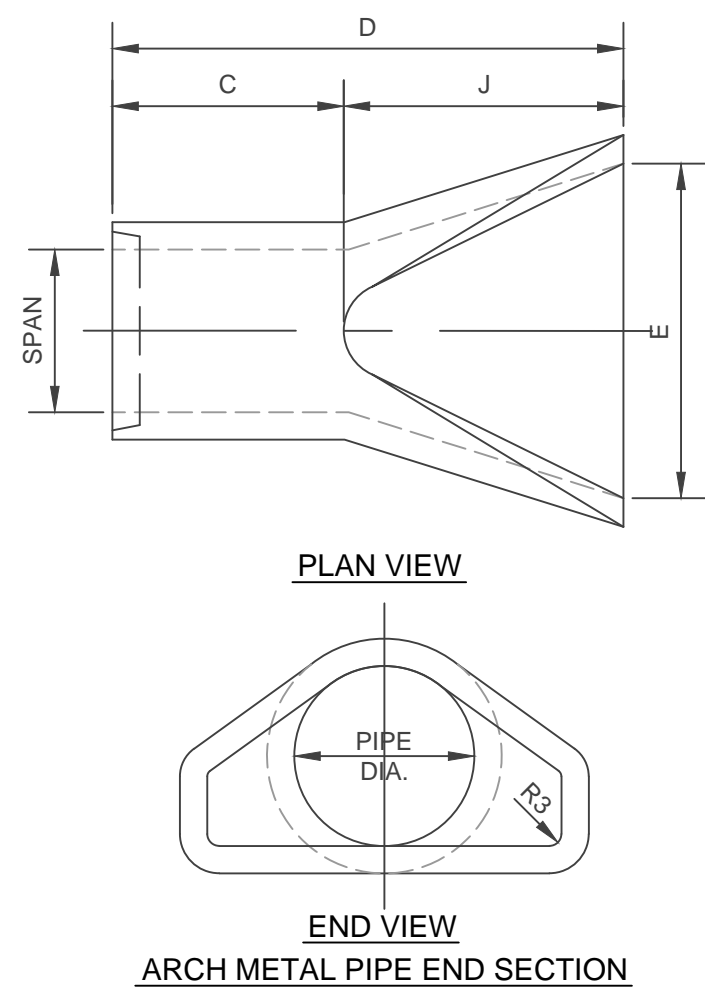
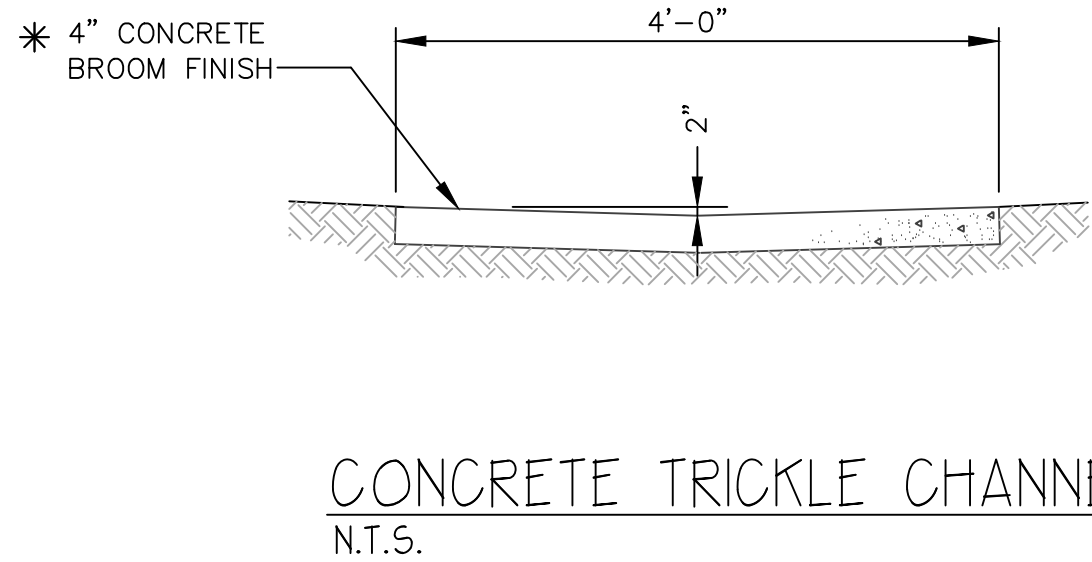


ALL TRICKLE CHANNELS SHALL BE CONSTRUCTED OF PORTLAND CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI WHEN TESTED. ALL CONCRETE SHALL CONTAIN AN AIR ENTRAINING AGENT WHICH PRODUCES FIVE PERCENT PLUS OR MINUS TWO PERCENT AIR ENTRAINMENT IN THE CONCRETE.

EXPANSION JOINTS SHALL BE PROVIDED AT 200 FOOT INTERVALS, AND AT ALL STATIONARY STRUCTURES. JOINT MATERIAL SHALL HAVE A THICKNESS OF ONE-HALF INCH AND CONFORM TO AASHTO M 213 STANDARDS.

CHANNELS MUST HAVE CONTRACTION JOINTS SAWED EVERY 15 FEET ON CENTER, AND SHALL BE SAWED TO A DEPTH OF 1 1/8" WITH A WIDTH OF 1/4". MATERIAL USED TO SEAL JOINTS SHALL BE AS SPECIFIED IN SECTION 501 AHTD STANDARD SPECIFICATIONS OR AS APPROVED BY THE ENGINEER. (OMNISEAL 50 OR EQUAL).

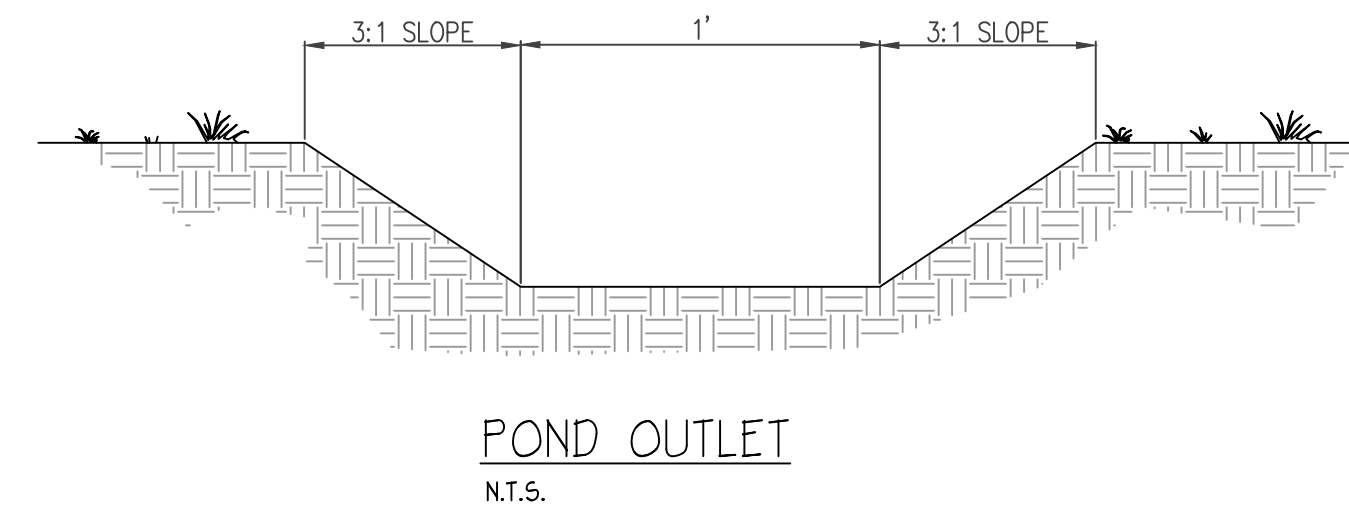
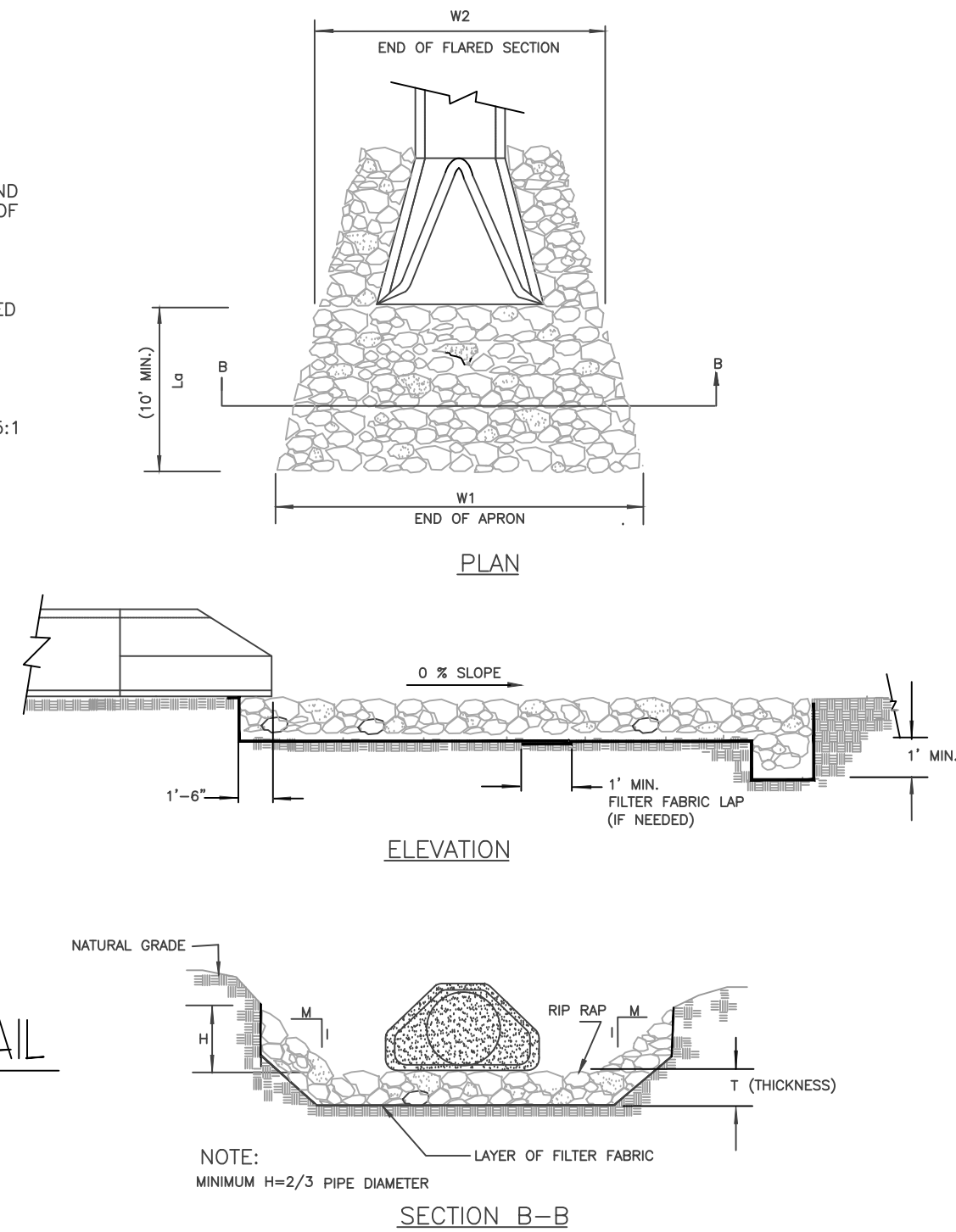
ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.



DIMENSIONS OF PRECAST END SECTION FOR PIPES													
SPAN IN.	K IN.	J IN.	C IN.	D IN.	E IN.	T IN.	R3 IN.	R4 IN.	R5 IN.	SLOPE			
18	9	27	46	73	36	2 1/2	3	3	6	3 TO 1			
24	8 1/2	43 1/2	30	73 1/2	48	3	3	3	7	3 TO 1			
30	12	54	19 3/4	73 3/4	60	3 1/2	3	3	8	3 TO 1			
36	15	63	34 3/4	73 3/4	72	4	3	3	10 1/2	3 TO 1			
42	21	63	35	98	78	4 1/2	3	3	10 1/2	3 TO 1			
48	24	72	26	98	84	5	6	6	14	3 TO 1			

DIMENSIONS OF PRE-CAST END SECTIONS FOR ELLIPTICAL PIPES													
SPAN IN.	RISE IN.	R1 IN.	R2 IN.	R3 IN.	R4 IN.	R5 IN.	T IN.	K IN.	J IN.	C IN.	D IN.	E IN.	SLOPE
23	14	6	20	3	3	2 3/4	8	27	45	72	36	3 TO 1	
30	19	8 1/4	26 1/4	3	3	7	3 1/4	8 1/2	39	33	72	48	3 TO 1
34	22	9 1/4	29 17/32	3	3	8	3 1/2	9	46	26	72	54	3 TO 1
38	24	10 1/4	32 3/4	3	3	9	3 3/4	9 1/2	54	18	72	60	3 TO 1
42	27	11 7/16	36 3/16	3	3	10 1/2	3 3/4	10 3/8	57	15	72	66	3 TO 1
45	29	12 1/4	39 1/4	3	3	12	4 1/2	11 1/4	60	36	96	72	3 TO 1
49	32	13 9/16	42 21/32	3	3	12 1/2	4 3/4	12	60	36	96	75	3 TO 1
53	34	14 3/4	46	6	6	13	5	15 3/4	60	36	96	78	3 TO 1
60	38	16 1/2	51 3/4	6	6	14	5 1/2	21	60	36	96	84	3 TO 1
68	43	18 21/32	58 13/32	6	6	16	6	25 1/2	60	36	96	90	3 TO 1

- NOTES:**
1. RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 3:1 AND A HEIGHT NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
 2. THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
 3. THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1
 4. ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
 5. THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
 6. NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
 7. FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
 8. ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.



ENGINEER: G. BATES

DRAWN BY: M. WILLIAMS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
GEOFFREY H. BATES

06-10-2025

CERTIFICATE OF AUTHORITY
BATES & ASSOCIATES, INC.
#335
ARKANSAS ENGINEER

Copyright © 2023 Bates & Associates, Inc.

DATE	REVISIONS
2/25/25	1ST SUBMITTAL
3/11/25	2ND SUBMITTAL
5/12/25	REMOVED PAVING FROM OUTSIDE THE PROPERTY BOUNDARY
5/19/25	3RD SUBMITTAL
6/10/25	4TH SUBMITTAL

BNC PARKING LOT
LARGE SCALE DEVELOPMENT PLANS
DETAILS
FARMINGTON, ARKANSAS

BATES
Engineers • Surveyors

7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / lbatesnwa.com

DRAWING NO.
06.0