



City of Farmington  
354 W. Main Street  
P.O. Box 150  
Farmington, AR 72730  
479-267-3865  
479-267-3805 (fax)

***PLANNING COMMISSION AGENDA***

***April 28, 2025***

**A meeting of the Farmington Planning Commission will be held on  
Monday, April 28, 2025, at 6:00 p.m. at City Hall  
354 W. Main Street, Farmington, Arkansas.**

1. Roll Call
2. Approval of the minutes –March 24, 2025
3. Comments from Citizens – the Planning Commission will hear brief comments at this time from citizens. No action will be taken. All comments will be limited to three minutes per person.

**1. Unfinished Business**

**A. Large Scale Development – Brand New Church Parking Lot**

**Property owned by:** Brand New Church  
**Property Location:** 512 W. Main Street  
**Presented by:** Bates & Associates

**2. PUBLIC HEARINGS**

**B. Conditional Use – Meramec Specialty Co. dba Fireworks City**

**Property owned by:** Meramec Specialty Co.  
**Property Location:** 380 W. Main St.  
**Presented by:** Meramec Specialty Co.

**C. Conditional Use – Freedom Fireworks, LLC**

**Property owned by:** Freedom Fireworks, LLC  
**Property Location:** 233 E. Main St.  
**Presented by:** Freedom Fireworks, LLC

**D. Variance – Off Street parking**

**Property owned by:** Derek Winkle  
**Property Location:** S. Bois D’Arc & W. White St.  
**Presented by:** Blew & Associates

**E. Large Scale Development – Beacon Ventures**

**Property owned by:** Derek Winkle  
**Property Location:** S. Bois D’Arc & W. White St.  
**Presented by:** Blew & Associates

**F. Preliminary Plat – Old Farmington Road Subdivision**

**Property owned by:** KD Real Estate Investment, LLC

**Property Location:** 275 E. Old Farmington Road, 19 & 25 S. Holland Rd.

**Presented by:** Crafton Tull

**Planning Commission Special Meeting Minutes  
March 24, 2025, at 6 PM**

1. **ROLL CALL** – The meeting was called to order by Chair Robert Mann. A quorum was present.

**PRESENT**

Robert Mann, Chair  
Gerry Harris, Vice Chair  
Chad Ball  
Judy Horne  
Keith Macedo  
Norm Toering  
Bobby Wilson

**ABSENT:** Howard Carter

**City Employees Present:** Melissa McCarville, City Business Manager; Jay Moore, City Attorney; Rick Bramall, City Building Inspector; Chris Brackett, City Engineer; Bill Hellard, Fire Chief; LeAnn Tolleson, City Administrative Assistant.

2. **Approval of Minutes:** February 24, 2025, Judy Horne stated there were a couple of errors in the minutes, Mesquite needed to be changed to mosquito, convenance was spelled wrong and swell needed to be changed to swale. The minutes were unanimously approved subject to Judy Horne's changes.

3. **Comments from Citizens: None**

1. **Public Hearings**

**1A. Variance – Property owned by Dianna & Charles Patterson, Location –73 E. Main Street, Presented by Bates & Associates.**

Geoff Bates representing Bates & Associates stated there is an existing house on the property that is in the setback, once it is torn down and the new building built it will be in the setbacks, and they are asking for a variance Chairman Mann asked if the city had anything they wanted to add, City Business Manager, Melissa McCarville said the building is in the existing setbacks and the existing house is a lot more forward.

**Comments from Citizens:**

Jill Toering, 306 Claybrook asked the question is the smoke shop next to a daycare?

Chairman Mann closed the floor for public comment.

Geoff Bates with Bates & Associates answered Ms. Toering's question and said, yes, it is next to daycare. Keith Macedo asked City Attorney Jay Moore if there was anything legal. Mr. Moore answered not that he thinks they are both in commercial zoning, but he will investigate it more but does not think anything would prevent it. Melissa McCarville stated this will comeback as a Large-Scale Development.

Judy Horne asked if the daycare was on the east or west side of the building and whether the building could be moved away from it. Mr. Bates confirmed it is on the east side, and Mr. Moore stated any issues would be addressed during Large-Scale Development.

Chairman Mann called to question property owned by Dianna and Charles Patterson; property located at 73 E. Main Street. Presented by Geoff Bates upon roll call vote the variance passed unanimously.

**1B. Variance – Property owned by Derek Winkle, Location –W. Main Street and S. Locust Street, Presented by Blew & Associates.**

George DuQuesne, representing Blew & Associates, requested two variances: a setback variance and a parking variance. The setback variance is needed due to space limitations between the right-of-way and the back of the property, which restricts room for parking, drive space, and the building. The parking variance is required because the project is short of five parking spaces with no available location to add them. Although the project has not yet been presented, the variances are being sought in advance to determine if the project can proceed.

Vice Chair Gerry Harris inquired about sidewalks and whether the Fire Department approved the available space for fire truck access behind the building. Mr. DuQuesne stated he had not yet spoken with the Fire Department. Fire Chief Bill Hellard responded that he would need to review the plans and noted that fire access would be evaluated during the Large-Scale Development process. Mr. DuQuesne mentioned that no drive was planned for the back, with all access limited to the front.

Chad Ball asked where a dumpster would go. Mr. DuQuesne answered they would have to add a dumpster to the site Chad Ball said they would need to have adequate parking and dumpsters. The sidewalk will need to connect. Mr. DuQuesne said they would follow the Master Street Plan.

Judy Horne wanted to know if there could be a compromise and it be shifted five feet south. Mr. DuQuesne answered he doesn't think it would be a problem, City Attorney Jay Moore stated anything can be proposed by the Planning Commission.

**Public Comment: None**

Judy Horne asked what was behind the building. Mr. DuQuesne answered that there is another project that will be a garage/storage building on the north side that Blew & Associates are handling.

Chairman Mann stated that since they own both pieces of property that changes everything, if you own both pieces of property you shouldn't have a problem with parking. Mr. DuQuesne said that each property has two different property owners. Blew & Associates' client is the contractor, the contractor is also the contractor for each property, but they have different owners.

Chairman Mann called to question to approve the variance for off street parking requirements property owned by Derek Winkle, property located at W. Main St. and S. Locust St. presented by Blew & Associates failed 4-3 Chairman Robert Mann, Norm Toering, Chad Ball and Bobby Wilson voting no.

**1C. Rezoning – From R-1 7 R-2 to MF-2 Property owned by Cox Development, LLC, Location 357 S. Hunter Street; 9,15,19 & 25 W. Dakota Trail, Presented by DCI.**

Jay Young, representing DCI stated his client owns all the brown parcels of land shown on the exhibit, which is multi-family zoned, our client also owns the small triangle parcel off Hunter and the end lot of the cul-de-sac. Since most of the land is zoned multi-family, he is looking to do a single development with those tracts combined.

**Comments from Citizens:**

Sheila Morell owns the property at 381 S. Hunter, expressed concerns over the potential construction of two-story apartments and if they are built people will be able to see in everyone's homes and there would be no privacy. Ms. Morell also stated she had not seen any plans but had spoken to several neighbors and they do not want apartments. This needs to be long-term houses and not two-story apartments. Ms. Morell stated

that the back portion of her property extends to a field and that Cox Development has repeatedly attempted to purchase it over the years, she said she will not sell.

Keith Lipford, 280 S. Hunter, stated the area is surrounded by R-1, single family homes and a mix of duplexes, directly across the street is more residential with larger properties that consist of 1 to 2 acre lots. Mr. Lipford said he could see MF-1 duplexes going in, that fits the blend. MF-2 gets into higher density, and you could get apartment complexes, MF-1 just makes more sense.

Chairman Mann closed the floor for public comment.

Chad Ball stated the majority of this is already zoned as MF-2, 4.7 acres is MF-2 have and they are trying to add more parcels that would equate to an acre or less than an acre. Mr. Ball asked, this is already zoned MF-2, you are just adding more parcels? Mr. Young answered the north triangle is currently zones R-2 and the south triangle is currently zoned R-1, the developer owns them all he wants to develop them as one development Whatever action that is taken tonight won't affect the development.

Chad Ball asked City Attorney Jay Moore what would happen legally if a sewer/lateral line exceeds someone's property. Jay Moore answered that this would be an issue between the developer and the homeowner, it would become a civil case.

Chairman Mann called to question to approve the rezoning from R-1 & R-2 to MF-2 property owned by Cox Development, property located at 357 S. Hunter Street; 9,15,19 & 25 W. Dakota Trail, presented by DCI passed 5-1 with Keith Macedo voting no.

**1D. Large Scale Development Brand New Church – Property owned by Brand New Church, Location –512 W. Main St., Presented by Bates & Associates.**

Geoff Bates, representing Bates & Associates, stated that the church purchased the property, which is already zoned C-2. They plan to put in a parking lot and pave the existing access easement.

City Engineer Chris Brackett read a memo as follows.

The Large-Scale Development for the Brand-New Church Parking Lot has been reviewed, and it is our opinion that the Planning Commission's approval should be conditional on the following comments.

1. A temporary construction easement will be required prior to construction plan approval for the work being performed on the adjacent properties.
2. Access to the adjacent properties will have to be maintained during the construction of the parking lot.
3. A completed Grading Permit Application and fee must be submitted to the City prior to final approval of the construction plans. A preconstruction conference will be required prior to any grading on the site. The owner, their engineering consultant, and the contractor responsible for the best management practices will be required to attend this conference.
4. After a final review set of plans and drainage report have been approved by KMS, the applicant shall submit to the City one (1) set of the full-size plans and two (2) sets of the half-size plans, and one (1) copy of the final drainage report that have been sealed by the engineer of record for final approval and distribution.
5. This approval of this large-scale development is effective for a period of one year and thereafter as long as work is actively progressing on the installation of the required improvements.

The following comments can be addressed in the construction plan submittal.

1. There is an error in the drainage report that must be addressed. This error does involve the size of

the detention pond but after there appears to be enough room on-site to address this error. I do not see any reason to table this project due to this error.

2. A trickle channel will be required in the detention pond and the pond outlet will have to be RCP.

Judy Horne expressed concern that the roadway appeared to be built higher than one foot, which would cause neighboring property owners to look uphill toward the parking lot. She also worried that raising the roadway would worsen drainage issues. Ms. Horne also voiced her concern about the detention pond needs to be deeper. In response, Mr. Bates stated that the water would be directed to a ditch, which would prevent it from reaching the neighboring properties. They will be meeting the drainage requirements.

### **Comments from Citizens:**

Jennifer Whitney 12281 Tyler Road lives directly behind where the asphalt is supposed to be. She stated it is overstepping her property lines and is willing to get a survey to prove that. Ms. Whitney said her biggest concern was the encroachment on the property line and her second concern was the utility lines that are underneath the gravel road. Ms. Whitney went on to say that they had been dealing with water line leaks since last summer (Mr. Chrisley passed out pictures to the Planning Commission). Ms. Whitney asked the question, what are the plans for the utility lines and drainage.

Joey Chrisley, also of 12281 Tyler Road, raised concerns about ongoing water line issues that began in September 2024. Although a gas line that was dug up was repaired, the water lines have not been fixed, as they are awaiting approval from Brand New Church to reroute the line. As a result, water has been running onto their property for the past six months. Mr. Chrisley stated there is already a 20-foot easement that extends up to their house and claimed that half their property has effectively been taken. He also expressed concerns about traffic congestion, suggested having police direct traffic, and questioned why an access easement could not be granted to their property connecting Rheas Mill to Wesley Stevens.

Eleanor McDonald, 12839 Ruby Road, passed out pictures showing flooding to the Planning Commission and asked if the runoff coefficient is changing on her property. She made the comment when does a small ditch that she made on her property become a drainage easement for a big parking lot.

Jason McDonald, who owns the west adjacent property at 12839 Ruby Road, raised several concerns about the proposed Large-Scale Development. First, he requested the Planning Commission table the project due to unresolved drainage issues. Second, he stated that displacing water onto his and neighboring properties post-development would be illegal. Third, he emphasized that flooding and drainage easement issues must be addressed before the project proceeds. Fourth, he questioned whether there are any undisclosed plans. Lastly, he inquired about how chemical runoff from the parking lot is being handled.

Hannah Gloria 12847 Ruby Road concerned about the flooding issues that are causing the septic backup. Ms. Gloria also voiced her concerns about where the utilities will be moved and if there is going to be an easement. No one has communicated with her about where the gas and water lines will be moved to.

Lilly Kersh 18240 & 18242 Ruby Road stated that the relationship they have had with the construction workers has been negative since the beginning. The waterline has been destroyed by the large trucks driving through and a road from Ruby Road to Tyler has been built over the waterline. The angle of the parking lot will have water running into their yards and the detention pond is full and with any rain they will be flooded out.

Jeff Crowder 10503 Garden Court asked who is responsible for paving the road and will it be a

public road?

Robert Phelps 750 W. Main pastor at the Apostolic Church stated when work was being done at his church, he had to come to the Planning Commission to get permission to begin work, he said we did everything we were asked to do, and we have had all proper inspections. There is already work being done, gravel equipment on the neighbor's property and theirs. No one asked and the road was widened and prepped to lay asphalt and tonight they are asking permission to work on the road and parking lot. If we had to follow the rules of Farmington, how did they get permission to start? We have not had anyone from Brand New Church speak with them. My question is whether permission been granted to do the work by the city prior to this meeting?

Chairman Mann closed the floor for public comment.

Chairman Robert Mann asked Mr. Bates to address the question about the property line. Mr. Bates answered they are not taking any of their land, there is a twenty-foot easement on their side and a ten-foot easement on the church side, so there will be a thirty-foot easement. Chad Ball asked if it has been properly surveyed and is it sealed, Mr. Bates answered yes.

Chairman Mann asked City Attorney, Jay Moore about the legal question that was asked. City Attorney Jay Moore responded that if a homeowner believes their property has been encroached upon, it is a private legal issue between the parties involved and does not concern the city. He added that the church should take all necessary steps to be good neighbors.

Chairman Mann questioned Mr. Bates about large trucks potentially breaking water lines. Mr. Bates replied that he was unaware of any trucks in the area and clarified that he serves as the engineer and is only the middleman. Chairman Mann then asked the City Business Manager if any complaints had been received regarding broken water lines, and she said no. Mr. Bates added that he had heard about broken lines but noted that those lines were scheduled for replacement. He believed Washington Water Authority, though he wasn't certain, was responsible for them.

Vice Chair Gerry Harris asked if the road was a private or public road. Mr. Bates said it was a private road with a shared access easement. All property owners who share the easement are responsible for the maintenance. City Attorney Jay Moore responded he doesn't know the specifics of the shared road 2766.401 is the statue, he will do some research and will look into it.

Chairman Mann asked City Engineer Chris Brackett about the runoff coefficient. Mr. Brackett said the runoff coefficient has increased but providing detention to mitigate. The post is .9 and the pre-emp is .5.

Chairman Mann asked Mr. Bates if the work has started. Mr. Bates answered and said the work should not have started, they are going through the right procedures, they have notified everyone. Building Official Rick Bramall responded and said that they have not started doing any grading to the parking lot, they have added materials to a gravel road without permission.

Norm Toering voiced his concern and stated what is going to stop you six months from now coming back and asking for more parking, why didn't you ask for more parking in the first place?

Keith Macedo made a motion to table the Large-Scale Development until the April 28<sup>th</sup> Planning Commission meeting with the following information to be answered by the applicant, Geoff Bates,

- Details of all utility easements in the area of Ruby Road.
- Easement information from applicants.
- No more work on site or Ruby Road.
- Information about where water lines were damaged and where the work happened.
- Road Easement (shared, private, public) statute 2766.401.

Judy Horne seconded the motion.

Robert Mann called to question to table the Large-Scale Development upon roll call vote and the request was approved 6-0.

**1E. Final Plat Wagon Wheel West – Property owned by DR Horton, Location –11828 Clyde Carnes Road, Presented by Engineering Services.**

Josh Hailey with Engineering Services asking for approval of Wagon Wheel West with 123 lots.

City Engineer Chris Brackett read a memo as follows.

The Final Plat for the Wagon Wheel West Subdivision has been reviewed, and it is our opinion that the Planning Commission's approval should be conditional on the following comments.

1. On March 28, 2022, the Planning Commission accepted the parkland that is now called Wagon Wheel Park. The original donation was 3.18 Acres and a recent donation to complete the parkland was 1.81 Acres for a total donation of 4.99 Acres. The Wagon Wheel Crossing Subdivision Phase I included 84 buildable lots for a total required donation of 1.68 Acres (0.02 Acres/lot at the time). The 120 lots of this subdivision will require an additional 2.76 acres (0.023 Acres/lot). This will leave 0.55 acres banked for future phases.
2. All public improvements must be completed, and a Final Inspection scheduled. All punch list items must be completed and accepted prior to final approval of the final plat.
3. A one-year Maintenance Bond to the City of Farmington for all public improvements except for the water and sanitary sewer improvements must be provided prior to the signatures on the Final Plat. The engineer must submit an itemized cost of these improvements for approval prior to obtaining the bond.
4. If the sidewalk construction is to be delayed until the home construction, then the developer shall provide an escrow account in accordance with Ordinance 9.20.03(a.). The engineer shall provide a cost estimate for the construction of the sidewalk for approval.
5. If the installation of the Street Lights has not been completed at the time of Final Plat signatures, then the developer shall provide the paid invoice from the electric company for these lights.
6. Provide one original and 3 copies of the recorded plat to the city.

**Comments from Citizens:**

Jill Toering 306 Claybrook wanted to know if this was the same plat that went through the Preliminary Plat and if the Final Plat would still have four houses per acre? City Engineer Chris Brackett answered the Final Plat is the same as the Preliminary Plat that was approved.

Chairman Mann closed the floor for public comment.

Chairman Robert Mann called to question to approve the Final Plat Wagon Wheel West, property owned by DR Horton, located at 11828 Clyde Carnes, presented by Engineering Services upon roll call vote, passed unanimously.

**Adjournment:** Having no further business, motion was made and seconded to adjourn; it was approved unanimously, and meeting was adjourned.

# CITY OF FARMINGTON

## APPLICATION FOR CONDITIONAL USE FOR SALE OF FIREWORKS

Applicant's Name: Meramec Specialty Co d.b.a. Fireworks City

Date: \_\_\_\_\_

Address : 380 West Main Street, Farmington, AR 72730

Phone #: 870.735.1753

Zoning: C-2

Description of proposed use: Seasonal Use / Sale of Retail Fireworks

---

**The following information must be provided before you will be placed on the Farmington Planning Commission agenda.**

1. Location approval by fire department. (form must be completed and signed by Farmington Fire Chief)
2. Payment of \$250.00 fee.
3. The applicant has provided proof that each adjacent property owner has been notified by return receipt mail or personal contact. If personal contact is used, a signed affidavit by the owner must be submitted. The affidavit must contain information notifying of the proposed intent and the date of the public hearing, at a minimum.
4. The applicant has provided a site plan showing adequate ingress, egress and parking. (No on street parking will be allowed.)
5. The applicant has provided proof that arrangements for waste collection services have been made.
6. The applicant has provided proof of premises liability insurance that covers the insured (Fireworks Manufacturer and/or Wholesaler), the Farmington property owner where the stand is located, the Fireworks Stand Owner and Operator; Sub-Operator, if applicable, and the City of Farmington, Arkansas for bodily injury and/or property damage arising out of the ownership, operation, use and maintenance of the insured retail premises, with a minimum coverage of \$1,000,000 for each occurrence and a minimum of \$3,000,000 in general aggregate coverage.
7. Must place signs in compliance with the City's sign ordinance.
8. If electricity is needed, an electrical permit must be obtained from City Building Inspector.
9. If site is not addressed contact Gunder Coaty at the City of Fayetteville 575-8380, he will assign an address to the site.
10. Must have a representative present at the Planning Commission Meeting (Public Hearing).

## FINAL SITE APPROVAL OF FIREWORKS STAND

The Farmington Fire Department must give final approval to the site for any fireworks stand prior to opening . The fireworks stand must be in operating condition for final approval.

- 1. Adequate and designated parking.
- 2. Accessibility requirements (distance between isles, 2 entrances and exits).
- 3. Business license.
- 4.

  
\_\_\_\_\_  
Farmington Fire Chief

3/17/25  
Date

**ozarks**  
ELECTRIC  
COOPERATIVE



PO Box 848  
Fayetteville, AR 72702  
800.521.6144  
www.ozarksecc.com

Reduce the clutter with paperless billing Visit [ozarksecc.com/paperless](http://ozarksecc.com/paperless) for information.

Meramec Speciality Co  
Account Number  
Statement Date

380 Main W  
95432003  
02/26/2025



**PAID**

TOTAL DUE

**\$30.89**

PAYMENT DUE  
03/17/2025

**Billing Summary**

Balance From Last Billing	\$30.89
Payments Received - Thank you!	-\$30.89
Balance Forward	\$0.00

**Service Summary**

Electric Service	\$30.89
<b>Current Charges</b>	<b>\$30.89</b>
Total Due on 03/17/2025	\$30.89
Amount due after March 17, 2025	\$35.82
\$4.93 late charge applies after 5 p.m. on 03/17/2025	

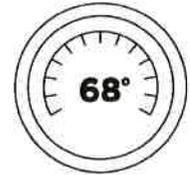


**ENTERED**

**ENERGY SAVING TIP**

**LOWER THE THERMOSTAT**

In winter months, home heating accounts for a large portion of energy consumption. Adjust your thermostat to the lowest comfortable setting.



Sending us a check? Did you know we offer a bank draft payment option? Stop worrying about due dates and misplaced bills. Call 800-521-6144 for more information.

**Scan this QR code for more Energy Saving Tips from Ozarks Electric.**



**ozarks**  
ELECTRIC  
COOPERATIVE



PO Box 848  
Fayetteville, AR 72702  
800.521.6144  
www.ozarksecc.com

Account Number	95432003
Location Number	28273634
Total Due on 03/17/2025	\$30.89
Amount due after March 17, 2025	\$35.82

Please check if returning information on the reverse side.



MERAMEC SPECIALITY CO  
191  
PO BOX 1150  
WEST MEMPHIS AR 72303-1150

4 99

**Make Checks Payable to:**

OZARKS ELECTRIC COOPERATIVE  
PO BOX 22114  
TULSA OK 74121-2114

18

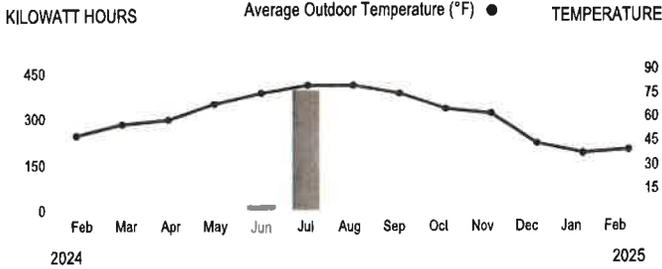


600954320030000000003089

**Service Location: 380 MAIN W**

**Account: 95432003**

Meter Number	Services		Days	Readings		Multiplier	Usage	Rate
	From	To		Previous	Present			
501013695	01/22/2025	02/21/2025	31	6209	6209	1	0	5A1



Customer Charge	\$27.00
Farmington Franchise Tax	\$1.15
Farmington City Tax	\$0.56
Washington County Tax	\$0.35
Arkansas State Tax	\$1.83
<b>Total Current Electric Service</b>	<b>\$30.89</b>

**Energy Usage Comparison**

<b>This Month</b>	<b>Last Month</b>	<b>This Month Last Year</b>	<b>Amount Billed Last Year</b>	<b>Average Daily Use</b>	<b>Average Daily Cost</b>	<b>Average Daily High</b>	<b>Average Daily Low</b>
0 kWh 31 days	0 kWh 34 days	0 kWh 31 days	\$30.89	0 kWh	\$.90	49°F	28°F

**Total Current Charges: 380 MAIN W \$30.89**

**GENERAL INFORMATION**

FOR POWER OUTAGES AND EMERGENCY SERVICES PLEASE CALL 1-800-521-6322

If you have questions or concerns with billing or service, or for a delayed payment agreement, you may contact us at 1-800-521-6144 or by mail at **PO Box 848, Fayetteville, AR 72702**. You may also visit our website at [www.ozarksecc.com](http://www.ozarksecc.com) or stop by a local office during our normal business hours Monday through Friday 8:00 a.m. to 5:00 p.m.

Your rights as a Member: Please view our Bylaws at [www.ozarksecc.com/account-information](http://www.ozarksecc.com/account-information)  
If you have a problem you cannot resolve with Ozarks Electric, please contact:

For Arkansas Members: The Arkansas Public Service Commission  
Consumer Services Division  
PO Box 400  
1000 Center Street  
Little Rock, AR 72203  
1-501-682-0390  
1-800-482-1164  
[www.arkansas.gov/psc](http://www.arkansas.gov/psc)

**Do we have incorrect or outdated contact information?**

Please provide us with your correct/updated mailing address, if different than bill is currently addressed, phone number and email address:

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_ Zip \_\_\_\_\_

Email \_\_\_\_\_

Home Phone \_\_\_\_\_ Cell Phone \_\_\_\_\_



**Online Bill Pay**  
Provides access to your energy account, see payment and usage history, and report/verify outages through SmartHub. Visit [www.ozarksecc.com](http://www.ozarksecc.com) to register.



**Pay By Phone**  
To use our secure automated payment system to pay your bill please dial 1-800-521-6144.



**MyOzarks App**  
Download our free app to your smart phone to pay your bill or report outages. Search for MyOzarks in your app store.



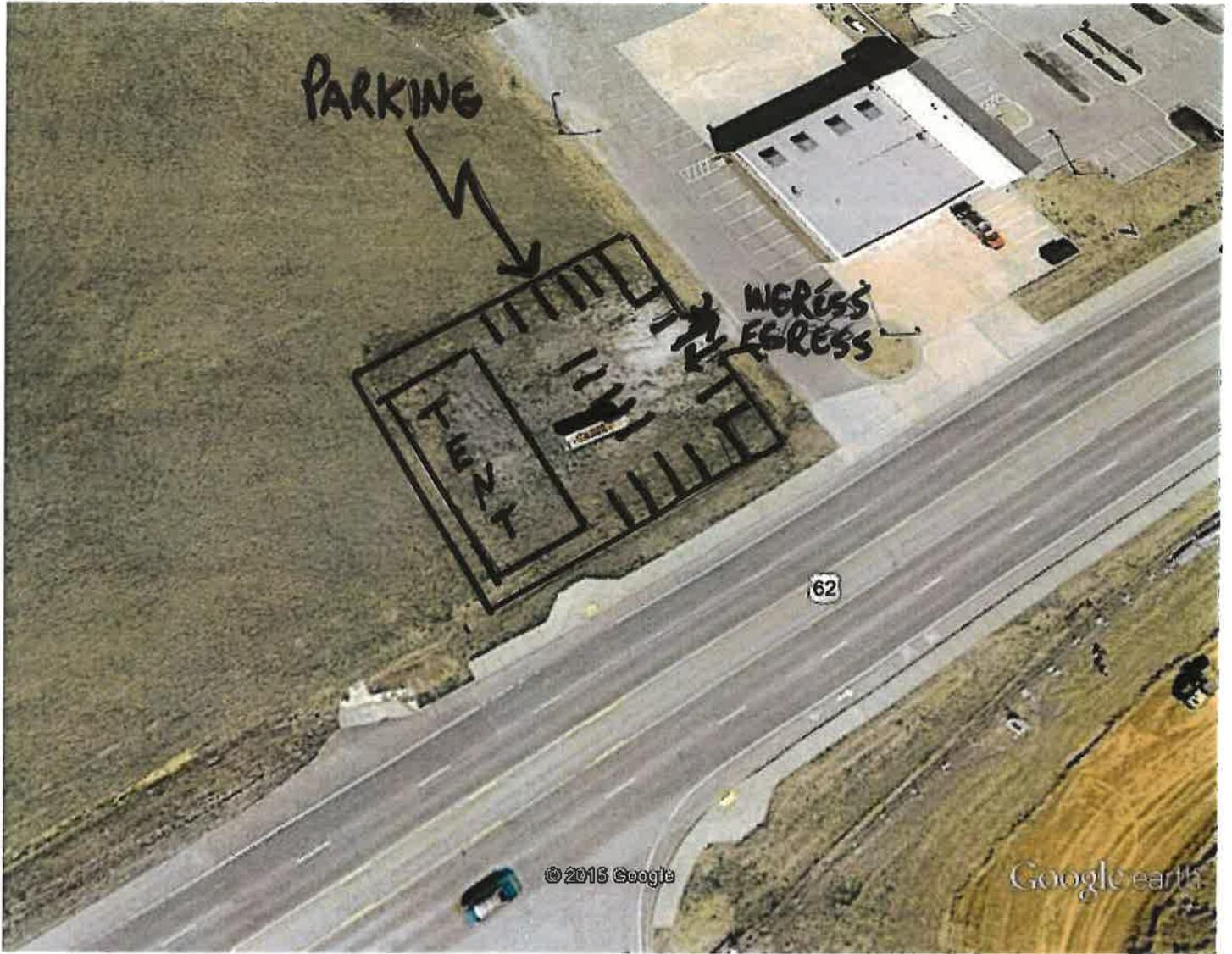
**Office Locations**  
Fayetteville, AR  
Springdale, AR  
Stilwell, OK  
Westville, OK

Authorization Code	5119951
Transaction ID	42700433
Processor Transaction ID	BYN5VLYRA06
Transaction Date & Time	02/28/2025, 01:46 PM
Total Payment Amount	\$30.89



Account	Service	Amount
95432003	AR	\$30.89

# SITE PLAN



Google earth



380 W. MAIN ST.  
FARMINGTON, AR

**DRAYTON INSURANCE BROKERS, INC.**

2500 CENTER POINT ROAD, SUITE 301  
BIRMINGHAM, ALABAMA 35215  
PHONE: (205) 854-5806  
FAX: (205) 854-5899

POST OFFICE BOX 94067  
BIRMINGHAM, ALABAMA 35220  
EMAIL: dib@draytonins.com

**CERTIFICATE OF INSURANCE**

NO. 540329

We certify that insurance is afforded as stated below. This Certificate does not affirmatively or negatively amend, extend or alter the coverage afforded by the insurance policy and the insurance afforded is subject to all the terms, exclusions and conditions of the policy.

<b>INSURER</b>	Admiral Insurance Company	<b>POLICY NO.</b> CA000018967-12
<b>NAMED INSURED</b>	Atomic Fireworks Inc. of Arkansas Atomic Fireworks Inc. of Missouri Meramec Specialty Company P.O. Box 305 Arnold, Missouri 63010	T.E.A. Enterprises, Inc. Pacific Specialty Company West Alton Properties, Inc. ATLG, LLC
<b>POLICY TERM</b>	March 1, 2025 to March 1, 2026; Both Days 12:01 A.M. Standard Time	
<b>COVERAGE</b>	Premises-Operations Liability: <input checked="" type="checkbox"/> Occurrence Basis	<input type="checkbox"/> Claims Made Basis
<b>LIMIT OF LIABILITY</b>	\$5,000,000 each occurrence, \$10,000,000 general aggregate The limit of liability shall not be increased by the inclusion of more than one insured or additional insured.	

**INSURED OPERATIONS** The sale of consumer fireworks (1.4G) and related products at the **Insured location**, during the **period of operation**.

It is certified that, for the period of operation stated below and when named below as such, this policy includes as **Additional Insureds** 1) the operator(s), sponsor(s), promoter(s), organizer(s), of the **Insured Premises** used principally for the retail sale of consumer fireworks supplied by the Named Insureds and/or 2) the owner(s), manager(s), tenant(s), mortgagee(s) (including other entities having similar interests), of the property on which the **Insured Premises** is located and/or 3) the licensing authority issuing a permit or license for the operation of the **Insured Premises** and/or 4) any entity for which the Named Insured is required, by written contract, to provide insurance such as is afforded by the terms of this policy.

**NAME(S) OF ADDITIONAL INSURED(S)**  
  
Farmington Commercial LLC-Property Owner  
Meramec Specialty Company Stan Owner and Operator  
Stand Manager and Sub-Operator  
Licensing Authorities-State of Arkansas, City of Farmington

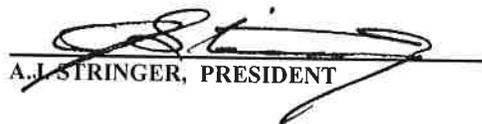
**ADDRESS OF INSURED PREMISES** An area measuring approximately 150' x 150' fronting on the north side of Hwy 62 approximately 1000' west of Kelli Avenue/Hwy 62 Intersection in the Farmington, Arkansas #191

**PERIOD OF OPERATION** March 1, 2025 through February 28, 2026

It is certified that this policy requires a 30 day mutual notice of cancellation between the Insurer and the Named Insured. In the event of such cancellation we will endeavor to mail 10 days written notice to the Additional Insured(s), whose name and address is shown hereon, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer and/or the undersigned.

**DRAYTON INSURANCE BROKERS, INC.**

March 1, 2025  
**DATE OF ISSUE**

  
**A.J. STRINGER, PRESIDENT**

**PAUL PHILLIPS  
FARMINGTON COMMERCIAL, LLC  
12771 TYLER RD.  
FARMINGTON, AR 72730**

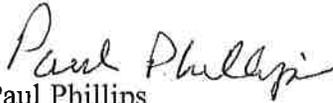
August 7, 2024

City of Farmington Planning Department:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks during the period of June 21, 2025 through July 5, 2025 on property owned by Farmington Commercial, LLC. in Farmington, Arkansas whose physical address is 380 West Main Farmington, Arkansas 72730.

Sincerely,

FARMINGTON COMMERCIAL, LLC.

  
Paul Phillips



City of  
**Farmington**

**2025 Business License**

License Number: **000386**

Date Issued: January 23, 2025

Expiration Date: 12/31/2025

3524

**Fireworks City**

380 W. Main St.  
Farmington, AR 72730

The license named herein is authorized to do business at the above specified BUSINESS LOCATION as provided for in Ordinance #2007-13



Mayor - Ernie Penn

**THIS LICENSE MUST BE POSTED IN A CONSPICUOUS PLACE.  
BUSINESS LICENSE IS NOT TRANSFERABLE**

All documents for mailings were provided.

# CITY OF FARMINGTON

## APPLICATION FOR CONDITIONAL USE FOR SALE OF FIREWORKS

Applicant's Name Freedom Fireworks, LLC Date 3-20-25

Address 233 E. Main Street, Farmington, AR 72730

Phone # 870-538-8093

Zoning Commercial

Description of proposed use: fireworks tent for the sale of fireworks for  
some of June and July of 2025.

**The following information must be provided before you will be placed on the Farmington Planning Commission agenda.**

1. Location approval by fire department. (form must be completed and signed by Farmington Fire Chief)
2. Payment of \$250.00 fee.
3. The applicant has provided proof that each adjacent property owner has been notified by return receipt mail or personal contact. If personal contact is used, a signed affidavit by the owner must be submitted. The affidavit must contain information notifying of the proposed intent and the date of the public hearing, at a minimum.
4. The applicant has provided a site plan showing adequate ingress, egress and parking. (No on street parking will be allowed.)
5. The applicant has provided proof that arrangements for waste collection services have been made.
6. The applicant has provided proof of premises liability insurance that covers the insured (Fireworks Manufacturer and/or Wholesaler), the Farmington property owner where the stand is located, the Fireworks Stand Owner and Operator; Sub-Operator, if applicable, and the City of Farmington, Arkansas for bodily injury and/or property damage arising out of the ownership, operation, use and maintenance of the insured retail premises, with a minimum coverage of \$1,000,000 for each occurrence and a minimum of \$3,000,000 in general aggregate coverage.
7. Must place signs in compliance with the City's sign ordinance.
8. If electricity is needed, an electrical permit must be obtained from City Building Inspector.
9. If site is not addressed contact Gunder Coaty at the City of Fayetteville 575-8380, he will assign an address to the site.
10. Must have a representative present at the Planning Commission Meeting (Public Hearing).

**After conditional use approval the following are required:**

- \_\_\_ 1. Business license. (\$50.00 for new one and \$25.00 for a renewal)
- \_\_\_ 2. Site inspection prior to opening must be completed by Fire Chief.

# Washington County

Assessor's Office

Washington, Assessor



Date Created: 3/15/2025

Created By: anonymous

1 inch = 36 feet

This map should be used for reference purposes only and should not be considered a legal document. While every effort has been made to ensure the accuracy of this product, the publisher accepts no responsibility for any errors or omissions nor for any loss or damage alleged to be suffered by anyone as a result of the publication of this map and the notations on it, or as a result of the use or misuse of the information provided herein.



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
2/4/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Acisure Great Lakes Partners Insurance Services 223 West Grand River Ave #1 Howell MI 48843	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 216-658-7100      FAX (A/C, No): 216-658-7101 E-MAIL ADDRESS: info@brittongallagher.com	
	<b>INSURER(S) AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b> 18168 Ingram Enterprises, Inc. dba Fireworks Over America 3010 North Ingram Drive Springfield MO 65803	<b>INSURER A :</b> Arch Specialty Insurance Company	21199
	<b>INSURER B :</b> Admiral Insurance Company	24856
	<b>INSURER C :</b> AXIS Specialty Insurance Company	15610
	<b>INSURER D :</b>	
	<b>INSURER E :</b>	
<b>INSURER F :</b>		

**COVERAGES**      **CERTIFICATE NUMBER:** 124453830      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
B	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> 10,000 Ded. GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC	Y	Y	CA000055835-01	2/1/2025	2/1/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED      RETENTION \$	Y	Y	UXP0057894-10	2/1/2025	2/1/2026	EACH OCCURRENCE \$ 4,000,000 AGGREGATE \$ 4,000,000 \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below Y/N      N/A						WC STATU-TORY LIMITS    OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
C	Excess Liability #2			P-001-000056744-07	2/1/2025	2/1/2026	Each Occ/ Aggregate 5,000,000 Total Combined Limits \$10,000,000

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)**  
The Certificate Holder is Additional Insured under General liability as required by written contract subject to policy terms, conditions, and exclusions.  
Property Owner: Two Daughters Property LLC  
Additional Insured: City of Farmington AR for Bodily Injury & or Property Damage arising out of the Ownership Operations, use of Maintenance of the retail premises, as well as Freedom Fireworks: Blake Wells, Ceslee Mahan and Joe Paul Mahan  
Location: 233 E Main Farmington AR 72730  
Operating Dates: June 15, 2025 thru July 15, 2025

<b>CERTIFICATE HOLDER</b>  Freedom Fireworks, LLC Blake Wells 49 E Main St Farmington AR 72730	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
---	--

© 1988-2010 ACORD CORPORATION. All rights reserved.

Freedom Fireworks, LLC, has secured access to a dump trailer that can be parked at 233 E. Main Street in Farmington during the proposed use for sale of fireworks. This can be used instead of, or in addition to, Two Daughters Properties, LLC's dumpster.

Cheslee Mahan, member

Cheslee Mahan, member of Freedom Fireworks, LLC

All documents for mailings were provided.

# City of Farmington, Arkansas Application for Variance/Waiver



Please fill out this form completely, supply all necessary information to support your request. Your application will not be placed on the agenda for Planning Commission/Board of Adjustment until all information is furnished.

Applicant: Blew & Associates Day phone: (479) 443-4506  
3825 N Shiloh Dr  
Address: Fayetteville, AR 72703 Fax: \_\_\_\_\_  
Representative: \_\_\_\_\_ Day phone: \_\_\_\_\_  
Address: \_\_\_\_\_ Fax: \_\_\_\_\_  
Property Owner: Derek Winkle Day phone: (479) 530-2701  
10740 Terpening Rd  
Address: Prairie Grove, AR 72753 Fax: \_\_\_\_\_

Indicate where the correspondence shall be sent (circle one) Applicant Representative Owner

Describe Proposed Property In Detail (Attach additional pages if necessary)

Property description: S. Bois D'Arc Street & \_\_\_\_\_  
Site address: W. White Street \_\_\_\_\_  
Current zoning: C-2 \_\_\_\_\_

Attach legal description and site plan (a scaled drawing of the property showing accurate lot lines, surrounding zoning, adjacent owners and a north arrow is required.) Attach photos if they are helpful in describing your request.

Type of variance requested and reason for request:

The variance requested is for Off-Street Parking Requirements listed in the City of Farmington Code of Ordinances 14.04.05(b)(2) for Highway Commercial Zoning (C-2). Per the Code, 1 Parking Space is required every 200 SF of Floor Area (Office) and 1 Parking Space is required every 500 SF of Floor Area (Other, Storage). The Proposed Building (~65 ft by ~50 ft) has ~996.18 SF of Office Area, ~2,242.55 SF of Storage Area, and therefore requires 9 spaces per the City Code. There are 8 parking spaces proposed (7 standard spaces, 1 van accessible space and loading area). The reason for this request is to maintain the required street landscape buffers and curb and gutter for the parking area, while maintaining a 5' grading buffer to the adjacent property owner to the east.

Responsibilities of the Applicant:

1. Complete application and pay a \$25.00 application fee.
2. Provide a copy of the deed for the property. If the property is rented, provide written permission from the owner that the variance is allowable.
3. Written authorization from the property owner if someone other than the owners will be representing the request.
4. Publish the following notice in a newspaper of general circulation in the City no later than 15 days prior to the meeting, A copy of the proof of publication from the newspaper must be provided to the City 7 days before the meeting:

**NOTICE OF PUBLIC MEETING**

A petition for a variance at the property described below has been filed with the City of Farmington on the 1 day of April, 2025.

**PLACE LEGAL DESCRIPTION HERE AND DESCRIPTION OF THE VARIANCE HERE**

A public meeting to consider this request for variance at the above described property will be held on 28 day of April, 2025, at 6:00 p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

*Applicant/Representative: I certify under penalty of perjury that the foregoing statements and answers herein made, all data, information and evidence herewith submitted are in all respects, to the best of my knowledge and belief, true and correct. I understand that submittal of incomplete, incorrect or false information is grounds for invalidation of the application. I understand that the City of Farmington may not approve my application or may set conditions on approval.*

 Date 4/15/2025  
Applicant Signature

*Property Owner/Authorized Agent: I certify under penalty of perjury that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing. (If signed by the authorized agent, a letter from the property owner must be provided indicating the agent is authorized to act on their behalf.)*

 Date 4/7/25  
Owner/Agent Signature

**File# 2024-00027951**

**WARRANTY DEED  
(Limited Liability Company)**

KNOW ALL MEN BY THESE PRESENTS:

That **Heidi Holdings LLC**, a limited liability company organized under and by virtue of the laws of the State of Arkansas, (herein "Grantor"), by and through its authorized Members, for the consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by **Beacon Ventures LLC**, an Arkansas limited liability company, (herein "Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto the said Grantee, and unto Grantee's successors and assigns forever, the following described land, situate in the County of Washington, State of Arkansas, to-wit:

**TRACT 2 OF THE LOT SPLIT OF LOTS 1 THROUGH 4, BLOCK 2, ORIGINAL TOWN OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON SURVEY RECORD 2024 AT PAGE 23988, BEING MORE PARTICULARLY DESCRIBED AS LOTS 1, 2 AND A PART OF LOT 3, BLOCK 2, THE ORIGINAL TOWN OF FARMINGTON, AS SHOWN IN PLAT BOOK 4 AT PAGE 155, ON FILE WITH THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT; COMMENCING AT AN EXISTING 1" PIPE FOR THE SOUTHEAST CORNER OF LOT 6, SAID BLOCK 2, AND RUNNING THENCE N87°53'16"W 192.37' TO A SET 1/2" REBAR FOR THE POINT OF BEGINNING, THENCE CONTINUING N87°53'16"W 107.37' TO A SET 1/2" REBAR, THENCE N02°15'46"E 150.47' TO A SET 1/2" REBAR, THENCE S87°45'34"E 107.37' TO A SET 1/2" REBAR. THENCE S02°15'46"W 150.23' TO THE POINT OF BEGINNING. CONTAINING 0.37 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.**

**Subject to recorded instruments, covenants, rights of way, and easements, if any. Subject to all prior mineral reservations and oil and gas leases, if any.**

[Legal description provided by Realty Title & Closing Services, LLC.]

TO HAVE AND TO HOLD the same unto the said Grantee, and unto Grantee's successors and assigns forever, with all tenements, appurtenances and hereditaments thereunto belonging.

AND Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said lands, that the same is unencumbered, and that Grantor will forever warrant and defend the title to the said lands against all claims whatsoever.

IN TESTIMONY WHEREOF, the name of the Grantor is hereunto affixed by its authorized Members, this 22 day of October, 2024.

MAIL TAX STATEMENTS TO:  
Beacon Ventures LLC  
5569 W. Persimmon St.  
Fayetteville, AR 72704

**HEIDI HOLDINGS LLC**

  
Derek Winkle, Member

  
Allison Winkle, Member

Please see the attached Real Estate Transfer Tax Stamp for proof of tax paid and certification that documentary stamps or a documentary symbol in the legally correct amount have been placed on this instrument.

**ACKNOWLEDGEMENT**

STATE OF ARKANSAS )  
 ) ss.  
COUNTY OF Washington )

On this day, before undersigned, a Notary Public, duly commissioned, qualified and acting, within and for the said County and State, appeared in person the within named **Derek Winkle** and **Allison Winkle**, to me personally known, who stated that they were the authorized **Members of Heidi Holdings LLC**, an Arkansas limited liability company, and were duly authorized in said capacities to execute the foregoing instrument for and in the name and behalf of said company, and further stated and acknowledged that they had so signed, executed and delivered said instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal this 22 day of October, 2024.

My Commission Expires:

  
Notary Public



Instrument prepared by:

 Stephen J. Miller, Attorney – Harrington Miller Law Firm  
4710 S. Thompson, Suite 102, Springdale, AR 72764  
www.arkansaslaw.com | (479) 751-6464

Warranty Deed  
Heidi Holdings LLC

Page 2 of 2



STATE OF ARKANSAS  
DEPARTMENT OF FINANCE AND ADMINISTRATION  
MISCELLANEOUS TAX SECTION  
P.O. BOX 896, LITTLE ROCK, AR 72203-0896

Real Estate Transfer Tax Stamp

Proof of Tax Paid



File Number: 24-86613S

Grantee: BEACON VENTURES LLC  
Mailing Address: 5569 W PERSIMMON ST  
FAYETTEVILLE AR 727047506

Grantor: HEIDI HOLDINGS, LLC  
Mailing Address: X  
X AR 000000000

Property Purchase Price: \$200,000.00  
Tax Amount: \$660.00

County: WASHINGTON  
Date Issued: 10/24/2024  
Stamp ID: 450102272

Washington County, AR  
I certify this instrument was filed on  
10/24/2024 11:48:27 AM  
and recorded in REAL ESTATE

File# 2024-00027951  
Kvle Svlvester - Circuit Clerk

I certify under penalty of false swearing that documentary stamps or a documentary symbol in the legally correct amount has been placed on this instrument

Grantee or Agent Name (printed): Catherine Delarber

Grantee or Agent Name (Signature):  Date: 10/24/24

Address: 3866 W. Sunset, Springdale AR 72762

City/State/Zip: 3866 W. Sunset, Springdale AR 72762  
479-582-9383



Account #: NWC5301346

Company: BLEW & ASSOCIATES  
3825 N SHILOH DR  
FAYETTEVILLE, AR 72703

Ad number #: 497571

PO #:

Matter of: PH Farmington Large Scale Developmt

**AFFIDAVIT • STATE OF ARKANSAS**

I, Maria Hernandez-Lopez, do solemnly swear that I am the Legal Clerk of the **NWA Democrat Gazette**, a daily newspaper printed and published in WASHINGTON/BENTON county, State of ARKANSAS; that I was so related to this publication at and during the publication of the annexed legal advertisement in the matter of :

PH Farmington Large Scale Developmt

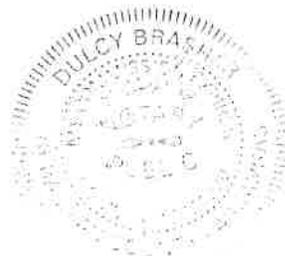
Pending in the court, in said County, and at the dates of the several publications of said advertisement stated below, and that during said periods and at said dates, said newspaper was printed and had a bona fide circulation in said County, that said newspaper had been regularly printed and published in said county, and had a bona fide circulation therein for the period of one month before the date of the first publication of said advertisement; and that said advertisement was published in the regular daily issues of said newspaper as stated below.

And that there is due or has been paid the **NWA Democrat Gazette** for publication the sum of \$82.08.  
(Includes \$0.00 Affidavit Charge).

*NWA Democrat Gazette 04/13/25; NWA nwaonline.com 04/13/25*

Maria Hernandez-Lopez  
Legal Clerk

State of ARKANSAS, County of Sebastian  
Subscribed and sworn to before me on this 14th day of April, 2025



Dulcy Braswell  
NOTARY PUBLIC

A petition for Large Scale Development for the property as described below has been filed with the City of Farmington on the 1st day of April 2025.

LOTS 1, 2 AND A PART OF LOT 3, BLOCK 2, THE ORIGINAL TOWN OF FARMINGTON, AS SHOWN IN PLAT BOOK 4 AT PAGE 155, ON FILE WITH THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT AN EXISTING 1" PIPE FOR THE SOUTHEAST CORNER OF LOT 6, SAID BLOCK 2, AND RUNNING THENCE N87°53'16"W 192.37' TO AN EXISTING 1/2" REBAR FOR THE POINT OF BEGINNING, THENCE CONTINUING N87°53'16"W 107.37' TO AN EXISTING 1/2" REBAR, THENCE N02°15'46"E 150.47' TO AN EXISTING 1/2" REBAR, THENCE S87°45'34"E 107.37' TO AN EXISTING 1/2" REBAR, THENCE S02°15'46"W 150.23' TO THE POINT OF BEGINNING, CONTAINING 0.37 ACRES, MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

A public hearing to consider this Large Scale Development will be held on the 28th day of April, 2025, at six o'clock p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

April 13, 2025 497571

**Proposed Features:**

Feature	Description
---	Property Line
---	Onsite Property Line
---	Offsite Property Line
---	Right-of-Way Line
---	Setback Line
---	Fastenement Line
---	Zoning Limits
---	Street / Drive Centerline
---	Curb And Gutter
---	(See Site Plan For Size)
---	Thickened Edge Of Pavement
---	Edge Of Gravel
---	Firelane Striping
---	Asphalt Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Sidewalk
---	(See Site Plan For Dimensions)
---	General Fence Line
---	(see Plan For Type)
---	Chain Link Fence Line
---	Board Fence Line
---	Parking Crumler
---	Storm Catch Basin(s)
---	Retaining Wall
---	See Utility Plan For Line Sizes
---	Gate Valve
---	Fire Hydrant & Assembly
---	Water Meter - Single
---	Water Meter - Double
---	Sanitary Sewer Manhole
---	Utility Pole
---	Light Pole

**Note:**  
 • Only Symbols That Appear On This Sheet Are Shown In This Legend.  
 • See Survey For Existing Features Legend.  
 • See Cover Sheet For Abbreviation List.

**Site Plan Notes:**

- 5A-01 4" Painted White / Yellow Stripes
- 5A-02 Tapered Curb From 6" to 0" at 60°
- 5A-03 4" Wide Painted Stripes, 2' 0" on center @ 45°
- 5A-04 4" Wide Painted Stripes, 4' 0" on center @ 45°
- 5A-05 Accessible Ramp to Sidewalk

**Sign Legend**

Symbol	Code	Description	Size	Plan Type
[Handicap Sign]	H-1	Handicap Sign	12 x 18"	E Channel
[No Parking - Fire Lane Sign]	N-1	No Parking - Fire Lane	12 x 18"	E Channel

**Parking Information**

VEHICULAR:	TOTAL	NOTES
Proposed Office Space:	996.18 sf	1st Floor GFA
Required Number of Spaces (Per Code):	5	1 Space / 200 sf GFA
Proposed Storage Space (Other):	2,242.55 sf	1st Floor GFA
Required Number of Spaces (Per Code):	4	1 Space / 500 sf GFA
Required Number of Spaces (Total):	9	
Provided Std Spaces:	7	
Provided Compact Spaces:	0	
Required Accessible Spaces:	1	
Provided Std Accessible Spaces:	0	
Provided Van Accessible Spaces:	1	
Provided Spaces (Total):	8	

**Site Information**

PROPERTY INFORMATION		
Gross Site Area:	16,143.14 sf	0.37 acres
Proposed Dedicated R.O.W.:	582.17 sf	0.01 acres
Net Site Area:	15,560.97 sf	0.36 acres
Zoning:	C-2 (Highway Commercial)	

ZONING REGULATIONS		
Front Setback:	50 ft	
Side Setback:	25 ft	
Side/Street Side Setback (when adjacent to Residential Zone):	15 ft	
Rear Setback:	20 ft	
Lot Frontage:	50 ft	
Corner Lot:	35 ft	
Max Building Height:	40 ft	
Max Lot Coverage:	60%	

SITE INFORMATION		
Total Building Area:	3,238.75 sf	0.07 acres
Total Paved Area:	4,926.36 sf	0.11 acres
Total Sidewalk Area:	211.66 sf	0.00 acres
Total Impervious Area:	8,366.75 sf	0.19 acres
Total Pervious Area:	7,194.22 sf	0.17 acres

**Utility Notes:**

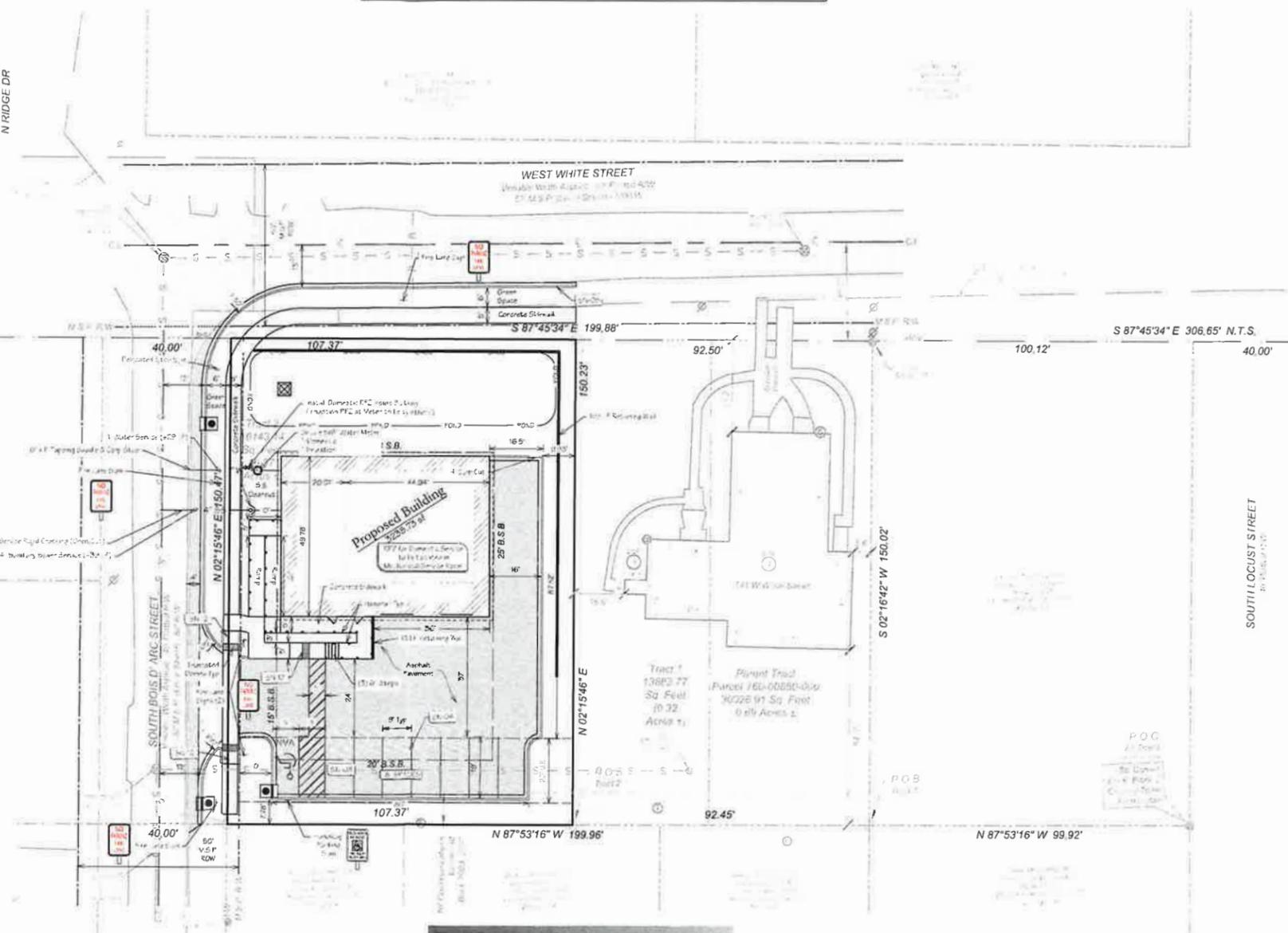
- GENERAL:**
- ✗ The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
  - ✗ A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. Contractor shall also be responsible for obtaining any necessary state / local permits for construction.
  - ✗ Water and Storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
  - ✗ All water and sewer force main fittings shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
  - ✗ Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
  - ✗ Dimensions are to the face / corner of the building, face of curb, and centerline of pipe and fitting.
  - ✗ Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
  - ✗ Existing utilities shown on plans have been shown in their approximate locations per available information.
  - ✗ Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all soil/sewage including contaminated soils per the requirements of the local municipality.
  - ✗ Proposed utilities that are to be banded within the same trench shall be coordinated with and approved by the appropriate utility company.
  - ✗ Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
  - ✗ Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
  - ✗ Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
  - ✗ Utility lines less than 12" shall be relocated underground as required by the local municipality.
  - ✗ Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electricity.

**WATER:**

- ✗ All water lines shall have 3' 0" min. cover above top of pipe.
- ✗ All water lines shall be bedded in accordance with Governing Agencies standards and bedding detail, see detail sheet(s).
- ✗ All water lines shall be hydrostatically tested and disinfected in accordance with city standards and with a city inspector present.
- ✗ All fire hydrants shall have a city approved gate valve installed within 5'-0" max. of the hydrant.
- ✗ Any cleanouts, valve boxes, and meter boxes in the pavement area shall be installed with a concrete apron in accordance with the detail sheet.
- ✗ Fire hydrants shall be installed in accordance with the standards / specification of the local water utility company and local municipality.

**SANITARY SEWER:**

- ✗ All sanitary sewer lines shall have 3' 0" min. cover above top of pipe.
- ✗ All sanitary sewer lines shall be bedded in accordance with Governing Agencies standards and bedding detail, see detail sheet(s).
- ✗ Sanitary sewer manholes located in grass area / non-paved area shall be constructed so that the rim is six (6) inches above proposed highest point of closest adjacent grade. In the event this can not be achieved then the manhole cover shall be water tight.
- ✗ Contractor shall match top of proposed sanitary sewer manhole to proposed grade. If a discrepancy occurs between the proposed grade and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.

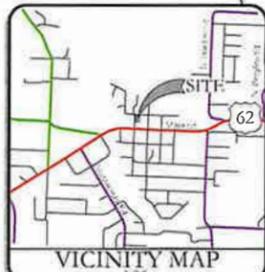


**Site General Notes:**

- ✗ Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Strip.
- ✗ All radii shall be 4 feet at Face of Curb unless otherwise specified.
- ✗ Layout of Site Plan is based on and limited to survey information.
- ✗ All Curb & Gutter shall be 24" wide per detail sheet.
- ✗ All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- ✗ All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- ✗ The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- ✗ All handiicap spaces shall be striped / marked in accordance with the handiicap striping detail.
- ✗ All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- ✗ It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- ✗ All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.

**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE  
 0 5 10 20  
 FEET



**REVISIONS:**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Large Scale Development For:  
**Beacon Ventures Commercial**  
 S. Bois D'Arc Street & W. White Street, Farmington, Arkansas  
**Derek Winkle**  
 10740 Terpening Rd  
 Prairie Grove, AR 72753  
 (479) 530-2701

**NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!**

**BLEW**  
 Surveying | Engineering  
 Environmental

Confirmation of Authorization No. 1134

DATE:	2025 04-15	SCALE:	24-3614
DESIGNER:	A. Long	REVISION:	J. De Quiese
DRAWING NO.:	24-3614 Civil 004.dwg		
PROJECT NO.:	C2		

P:\24-3614-derek-winkle-farmington-ar-civil-drawings\24-3614-civil-004.dwg - Plotted on 4/15/2025 9:04:16 AM @ a scale of 1:1 in arial font (smaller file) pcd by Aaron Long

**Proposed Features:**

Feature	Description
---	Property Line
---	Onsite Property Line
---	Offsite Property Line
---	Right-Of-Way Line
---	Setback Line
---	Foundation Line
---	Zoning Limits
---	Street / Drive Centerline
---	Curb And Gutter
---	(See Site Plan For Size)
---	Thickened Edge Of Pavement
---	Edge Of Gravel
---	Finchline Striping
---	Asphalt Pavement (See Detail
---	Sheet For Pavement Sections)
---	Concrete Pavement (See Detail
---	Sheet For Pavement Sections)
---	Concrete Sidewalk
---	(See Site Plan For Dimensions)
---	General Fence Line
---	(see Plan For Type)
---	Chain Link Fence Line
---	Board Fence Line
---	Parking Curbs
---	Storm Catch Basin(s)
---	Retaining Wall
---	See Utility Plan For Line Sizes
---	Gate Valve
---	Fire Hydrant & Assembly
---	Water Meter - Single
---	Water Meter - Double
---	Sanitary Sewer Manhole
---	Utility Pole
---	Light Pole

**Note:**  
 \* Only Symbols That Appear On This Sheet Are Shown In This Legend.  
 \* See Survey For Existing Features Legend.  
 \* See Cover Sheet For Abbreviation List.

**Site Plan Notes:**

- EN-01 4" Painted White / Yellow Striping
- EN-02 Taper Curb from 6" to 0" @ 6'-0"
- EN-03 4" Wide Painted Stripes, 2'-0" on @ 4'-0"
- EN-04 4" Wide Painted Stripes, 4'-0" on @ 8'-0"
- AK-02 Access to Ramp to Sidewalk

**Sign Legend**

Symbol	Code	Description	Size	Face Type
[Handicap Sign]	Handicap Sign	Handicap Sign	12 x 18"	1' Channel
[No Parking Sign]	RP 11	No Parking - Fire Lane	12 x 18"	1' Channel

**Parking Information**

VEHICULAR:	TOTAL	NOTES
Proposed Office Space:	996.18 sf	1st Floor GFA
Required Number of Spaces (Per Code):	5	1 Space / 200 sf GFA
Proposed Storage Space (Other):	2,242.55 sf	1st Floor GFA
Required Number of Spaces (Per Code):	4	1 Space / 500 sf GFA
Required Number of Spaces (Total):	9	
Provided Set Spaces:	0	
Provided Compact Spaces:	0	
Required Accessible Spaces:	1	
Provided Std Accessible Spaces:	0	
Provided Van Accessible Spaces:	1	
Provided Spaces (Total):	8	

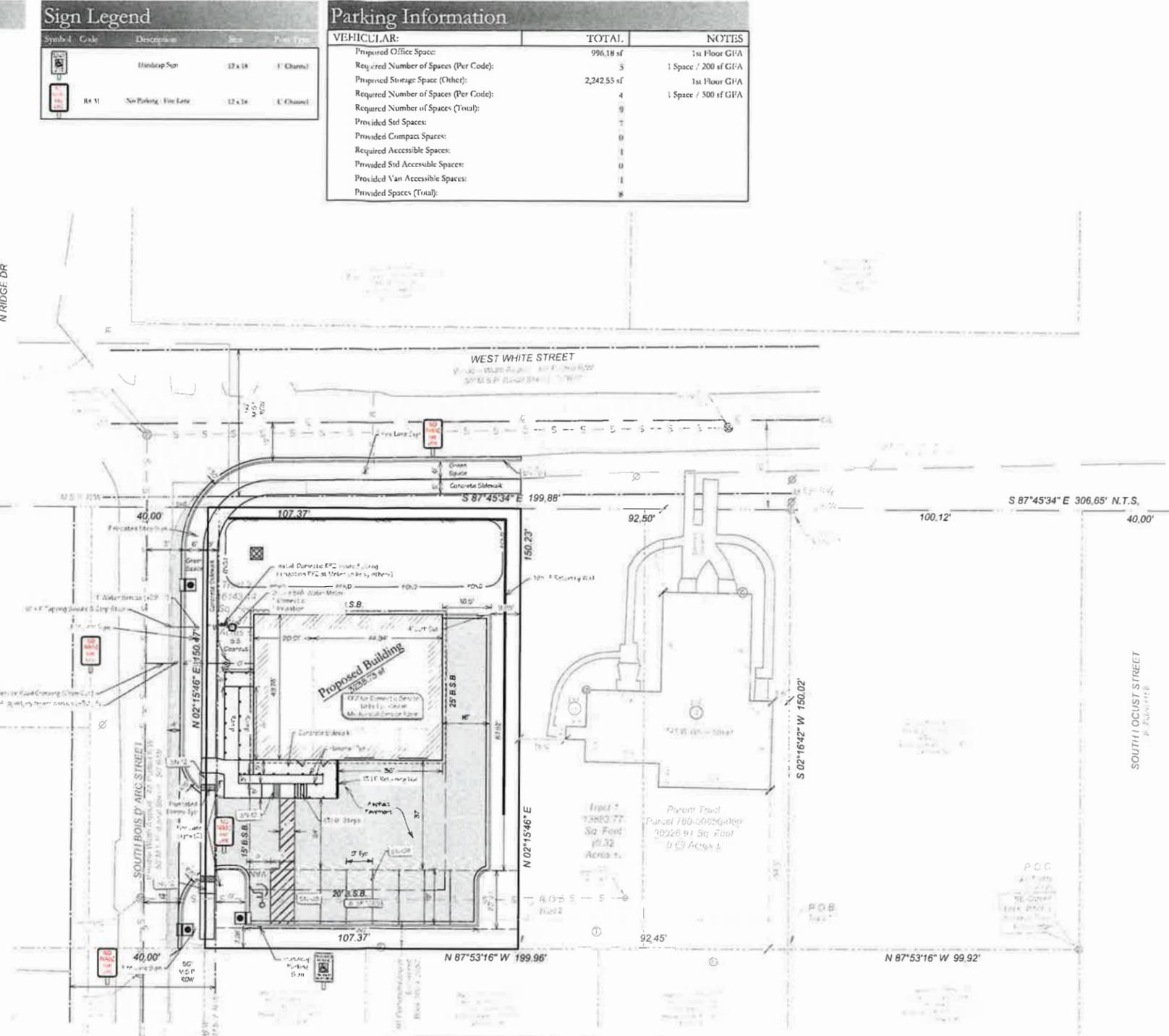
**Site Information**

PROPERTY INFORMATION		
Gross Site Area:	16,143.14 sf	0.37 acres
Proposed Dedicated R.O.W.:	582.17 sf	0.01 acres
Net Site Area:	15,560.97 sf	0.36 acres
Zoning:	C-2 (Highway Commercial)	
ZONING REGULATIONS		
Front Setback:	50 ft	
Side Setback:	25 ft	
Side / Street Side Setback (when adjacent to Residential Zone):	15 ft	
Rear Setback:	20 ft	
Lot Frontage:	50 ft	
Corner Loc:	35 ft	
Max Building Height:	40 ft	
Max Lot Coverage:	60%	
SITE INFORMATION		
Total Building Area:	3,238.75 sf	0.07 acres
Total Paved Area:	4,926.36 sf	0.11 acres
Total Sidewalk Area:	201.66 sf	0.00 acres
Total Impervious Area:	8,366.75 sf	0.19 acres
Total Pervious Area:	7,194.22 sf	0.17 acres

**Utility Notes:**

- GENERAL:**
- The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
  - A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. Contractor shall also be responsible for obtaining any necessary state / local permits for construction.
  - Water and storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
  - All water and sewer force main fittings shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
  - Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
  - Dimensions are to the face / corner of the building, face of curb, and centerline of pipe and fitting.
  - Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
  - Existing utilities shown on plans have been shown in their approximate locations per available information.
  - Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all spill sewage including contaminated soils per the requirements of the local municipality.
  - Proposed utilities that are to be buried within the same trenches shall be coordinated with and approved by the appropriate utility company.
  - Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
  - Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
  - Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
  - Utility lines less than 12 kv shall be relocated underground as required by the local municipality.
  - Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electric.

- WATER:**
- All water lines shall have 3' 0" min. cover above top of pipe.
  - All water lines shall be bedded in accordance with Governing Agencies standards and bedding detail, see detail sheet(s).
  - All water lines shall be hydrostatically tested and disinfected in accordance with city standards and with a city inspector present.
  - All fire hydrants shall have a city approved gate valve installed within 5'-0" max. of the hydrant.
  - Any cleanouts, valve boxes, and meter boxes in the pavement area shall be installed with a concrete apron in accordance with the detail sheet.
  - Fire hydrants shall be installed in accordance with the standards / specifications of the local water utility company and local municipalities.
- SANITARY SEWER:**
- All sanitary sewer lines shall have 3' 0" min. cover above top of pipe.
  - All sanitary sewer lines shall be bedded in accordance with Governing Agencies' standards and bedding detail, see detail sheet(s).
  - Sanitary sewer manholes located in grass area / non-paved area shall be constructed so that the rim is six (6) inches above proposed highest point of closest adjacent grade. In the event this can not be achieved then the manhole cover shall be water tight.
  - Contractor shall match top of proposed sanitary sewer manhole to proposed grade, if a discrepancy occurs between the proposed grade and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.



**Site General Notes:**

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Striping.
- All walls shall be 4 feet at Face of Curb unless otherwise specified.
- Location of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Elevation Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.



**REVISIONS:**

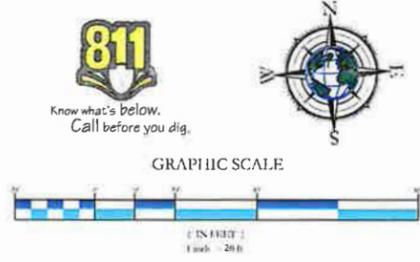
NO.	DATE	DESCRIPTION

Site / Utility  
 Large Scale Development For:  
**Beacon Ventures Commercial**  
 S. Bois D'Arc Street & W. White Street Farmington, Arkansas  
**Derek Winkle**  
 10740 Terpening Rd  
 Prairie Grove, AR 72753  
 (479) 530-2701

**NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!**

**BLEW**  
 Surveying | Engineering  
 Environmental

2025 04 15 24-3614  
 A. Long J. Du Quenoir  
 24-3614 Civil 004.dwg  
**C2**



**Proposed Features:**

Feature	Description
---	Property Line
---	Onsite Property Line
---	Offsite Property Line
---	Right-Of-Way Line
---	Setback Line
---	Fastening Line
---	Zoning Limits
---	Street / Drive Centerline
---	Curb And Gutter
---	(See Site Plan For Size)
---	Thickened Edge Of Pavement
---	Edge Of Gravel
---	Circle Striping
---	Asphalt Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Sidewalk (See Site Plan For Dimensions)
---	General Fence Line (see Plan For Type)
---	Chain Link Fence Line
---	Board Fence Line
---	Parking Counter
---	Storm Catch Basin(s)
---	Retaining Wall
---	See Utility Plan For Line Sizes
---	Gate Valve
---	Fire Hydrant & Assembly
---	Water Meter - Single
---	Water Meter - Double
---	Sanitary Sewer Manhole
---	Utility Pole
---	Light Pole

**Note:**  
 \* Only Symbols That Appear On This Sheet Are Shown In This Legend.  
 \* See Survey For Existing Features Legend.  
 \* See Cover Sheet For Abbreviation List.

**Site Plan Notes:**

64-31	4" Plastic Pipe / Yellow Stripes
64-32	Super Curve from 15' to 20' @ 45°
64-33	4" Wire Painted Stripes 2' @ 15' @ 45°
64-34	4" Wire Painted Stripes 4' @ 15' @ 45°
64-35	Address Name / Signposts

**Sign Legend**

Symbol	Code	Description	Size	Plan Type
[Handicap Sign]		Handicap Sign	12 x 18	1' Channel
[No Parking Sign]	R5 31	No Parking - Fire Lane	17 x 18	1' Channel

**Parking Information**

VEHICULAR:	TOTAL	NOTES
Proposed Office Space:	996.18 sf	1st Floor GPA
Required Number of Spaces (Per Code):	5	1 Space / 200 sf GPA
Proposed Storage Space (Other):	2,242.55 sf	1st Floor GPA
Required Number of Spaces (Per Code):	4	1 Space / 500 sf GPA
Required Number of Spaces (Total):	9	
Provided Std Spaces:	7	
Provided Compact Spaces:	0	
Required Accessible Spaces:	1	
Provided Std Accessible Spaces:	0	
Provided Van Accessible Spaces:	1	
Provided Spaces (Total):	8	

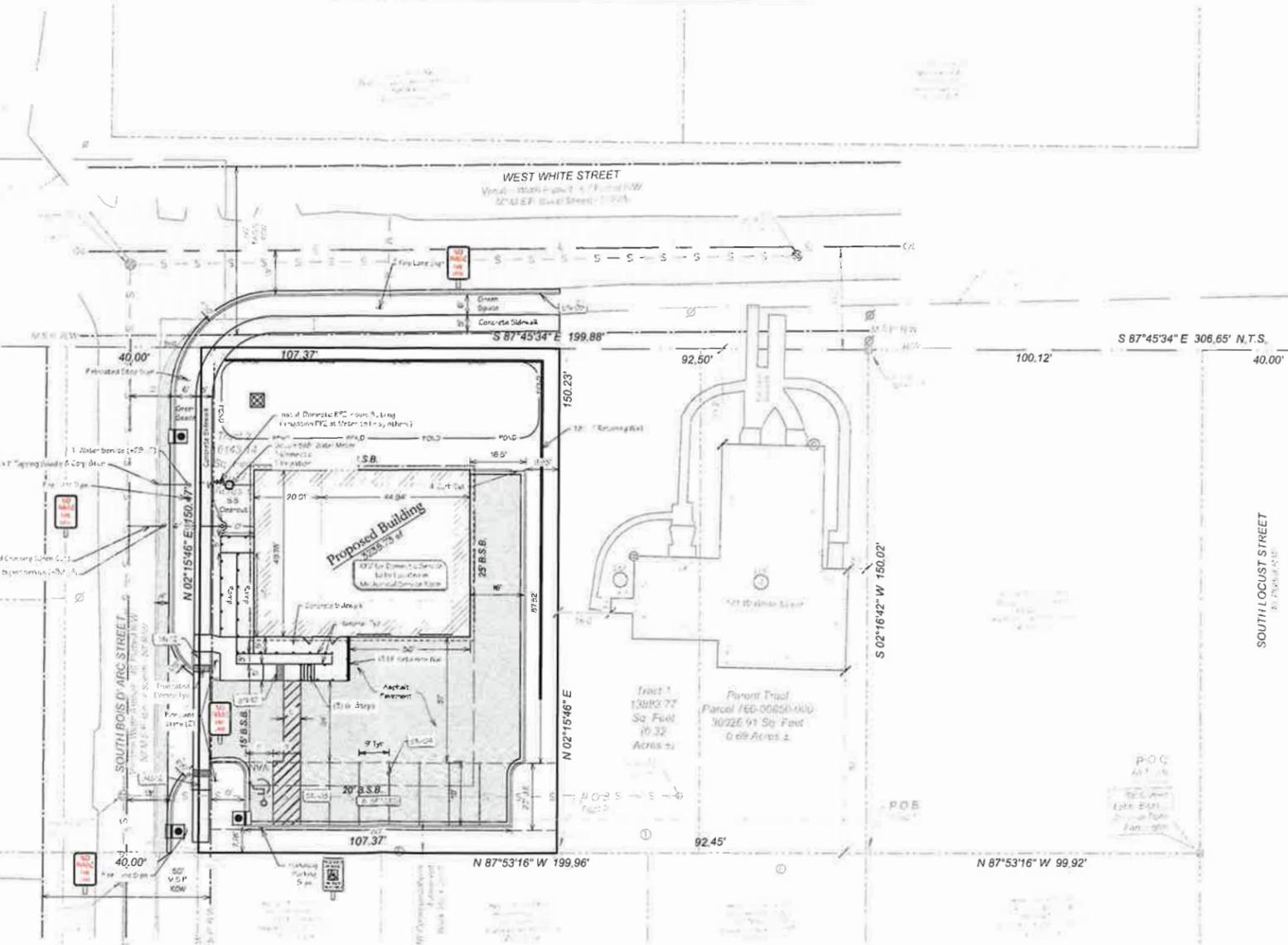
**Site Information**

PROPERTY INFORMATION		
Gross Site Area:	16,143.14 sf	0.37 acres
Proposed Dedicated R.O.W.:	582.17 sf	0.01 acres
Net Site Area:	15,560.97 sf	0.36 acres
Zoning:	C-2 (Highway Commercial)	
ZONING REGULATIONS		
Front Setback:	50 ft	
Side Setback:	25 ft	
Side / Street Side Setback (when adjacent to Residential Zone):	15 ft	
Rear Setback:	20 ft	
Lot Frontage:	50 ft	
Corner Lot:	35 ft	
Max Building Height:	40 ft	
Max Lot Coverage:	60%	
SITE INFORMATION		
Total Building Area:	3,238.73 sf	0.07 acres
Total Paved Area:	4,926.36 sf	0.11 acres
Total Sidewalk Area:	201.66 sf	0.00 acres
Total Impervious Area:	8,366.75 sf	0.19 acres
Total Pervious Area:	7,194.22 sf	0.17 acres

**Utility Notes:**

- GENERAL:**
- The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
  - A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. Contractor shall also be responsible for obtaining any necessary state / local permits for construction.
  - Water and storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
  - All water and sewer force main fringing shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
  - Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
  - Dimensions are to the face / corner of the building, face of curb, and centerline of pipe and fringing.
  - Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
  - Existing utilities shown on plans have been shown in their approximate locations per available information.
  - Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all spill sewage including contaminated soils per the requirements of the local municipality.
  - Proposed utilities that are to be buried within the same trench shall be coordinated with and approved by the appropriate utility company.
  - Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
  - Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
  - Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
  - Utility lines less than 12 kv shall be relocated underground as required by the local municipality.
  - Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electrical.

- WATER:**
- All water lines shall have 3' 0" min. cover above top of pipe.
  - All water lines shall be bedded in accordance with Governing Agencies standards and bedding detail, see detail sheet(s).
  - All water lines shall be hydraulically tested and disinfected in accordance with city standards and with a city inspector present.
  - All fire hydrants shall have a city approved gate valve installed within 5'-0" max. of the hydrant.
  - Any cleanouts, valve boxes, and meter boxes in the pavement area shall be installed with a concrete apron in accordance with the detail sheet.
  - Fire hydrants shall be installed in accordance with the standards / specification of the local water utility company and local municipalities.
- SANITARY SEWER:**
- All sanitary sewer lines shall have 3' 0" min. cover above top of pipe.
  - All sanitary sewer lines shall be bedded in accordance with Governing Agencies' standards and bedding detail, see detail sheet(s).
  - Sanitary sewer manholes located in grass area / non-paved area shall be constructed so that the rim is six (6) inches above proposed highest point of closest adjacent grade. In the event this can not be achieved then the manhole cover shall be water tight.
  - Contractor shall match top of proposed sanitary sewer manhole to proposed grade. If a discrepancy occurs between the proposed grade and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.



**Site General Notes:**

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Strip.
- All notes shall be 4 feet at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utilities Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.



**REVISIONS:**

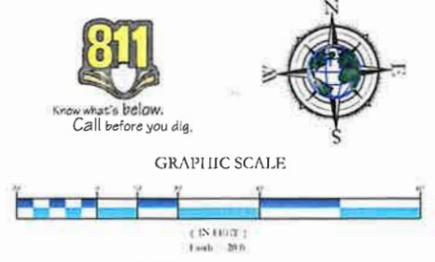
NO.	DATE	DESCRIPTION

Site / Utility  
 Large Scale Development For:  
**Beacon Ventures Commercial**  
 S. Bois D'Arc Street & W. White Street Farmington, Arkansas  
**Derek Winkle**  
 10740 Terpening Rd  
 Prairie Grove, AR 72753  
 (479) 530-2701

**NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!**

**BLEW**  
 Surveying | Engineering  
 Environmental

24-3614 Civil 004.dwg  
 DATE: 2025.04.15  
 DRAWN BY: A. Long  
 CHECKED BY: J. De Queiroz  
 PROJECT: 24-3614 Civil 004.dwg  
 SHEET NUMBER: C2





**Proposed Features:**

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Fastener Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter
	(See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Francis Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Parking Counter
	Storm Catch Basin(s)
	Retaining Wall
	See Utility Plan For Line Sizes
	Gate Valve
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

**Note:**  
 • Only Symbols That Appear On This Sheet Are Shown In This Legend.  
 • See Survey For Existing Features Legend.  
 • See Cover Sheet For Abbreviation List.

**Site Plan Notes:**

	4" Plastic Pipe / 4" Flow Stripes
	4" Water Main / 4" Flow Stripes
	4" Water Main / 4" Flow Stripes / 4" Flow Stripes
	4" Water Main / 4" Flow Stripes / 4" Flow Stripes
	Address Name / Submittal

**Sign Legend**

Symbol	Code	Description	Size	Post Type
	H-1	Handicap Sign	12 x 18"	1 Channel
	N-1	No Parking - First Lane	12 x 18"	1 Channel

**Parking Information**

VEHICULAR	TOTAL	NOTES
Proposed Office Space:	996.18 sf	1st Floor GFA
Required Number of Spaces (Per Code):	5	1 Space / 200 sf GFA
Proposed Storage Space (Other):	2,242.55 sf	1st Floor GFA
Required Number of Spaces (Per Code):	4	1 Space / 500 sf GFA
Required Number of Spaces (Total):	9	
Provided Sid Spaces:	7	
Provided Compact Spaces:	0	
Required Accessible Spaces:	1	
Provided Sid Accessible Spaces:	0	
Provided Van Accessible Spaces:	1	
Provided Spaces (Total):	8	

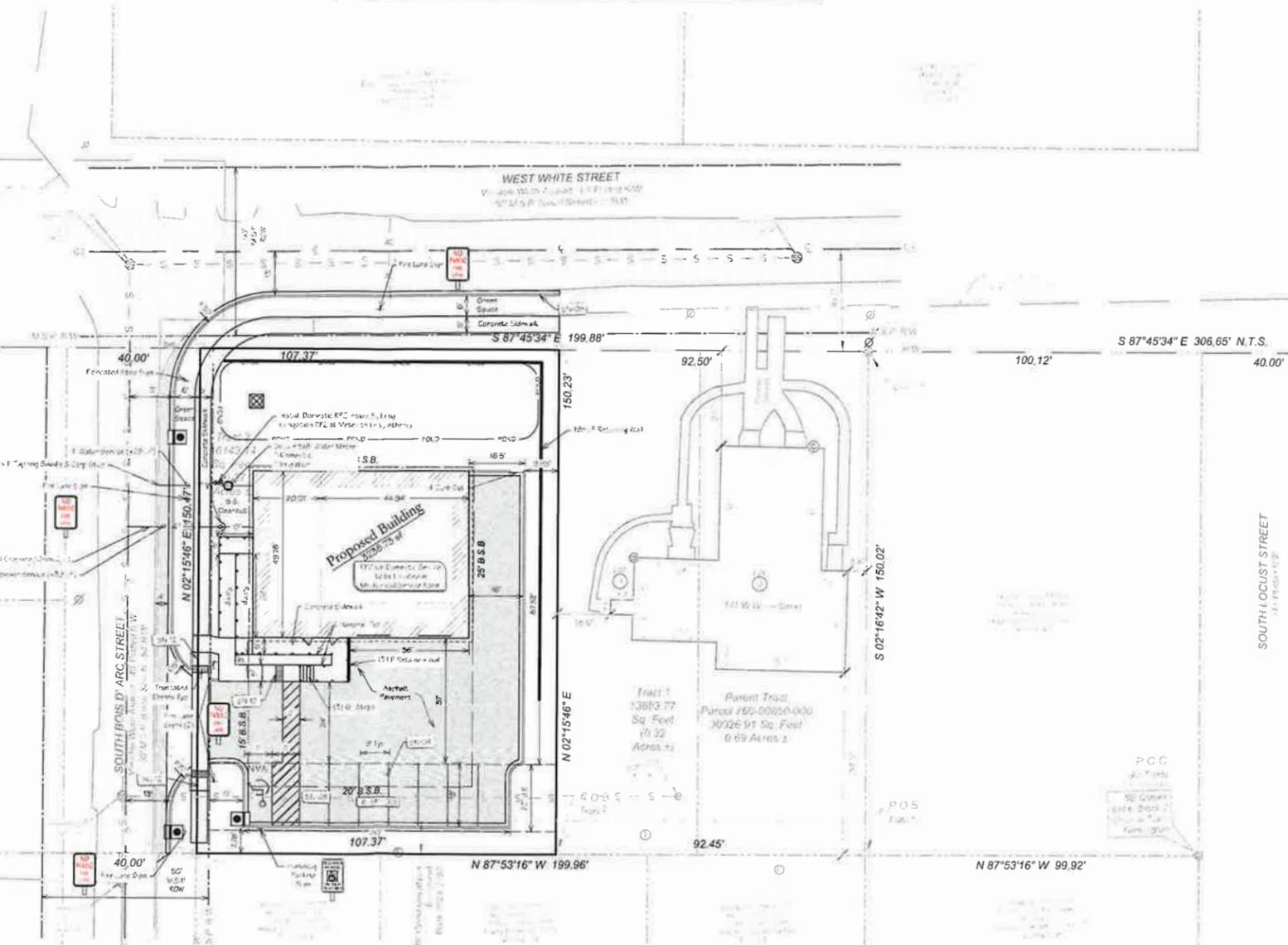
**Site Information**

PROPERTY INFORMATION		
Gross Site Area:	16,143.14 sf	0.37 acres
Proposed Dedicated R.O.W.:	582.17 sf	0.01 acres
Net Site Area:	15,560.97 sf	0.36 acres
Zoning:	C-2 (Highway Commercial)	
ZONING REGULATIONS		
Front Setback:	50 ft	
Side Setback:	25 ft	
Side/Street Side Setback (when adjacent to Residential Zone):	15 ft	
Rear Setback:	20 ft	
Lot Frontage:	50 ft	
Corner Lot:	35 ft	
Max Building Height:	40 ft	
Max Lot Coverage:	60%	
SITE INFORMATION		
Total Building Area:	3,238.73 sf	0.07 acres
Total Paved Area:	4,926.36 sf	0.11 acres
Total Sidewalk Area:	201.66 sf	0.00 acres
Total Impervious Area:	8,366.75 sf	0.19 acres
Total Pervious Area:	7,194.22 sf	0.17 acres

**Utility Notes:**

- GENERAL:**
- The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
  - A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. Contractor shall also be responsible for obtaining any necessary state / local permits for construction.
  - Water and storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
  - All water and sewer force main fitting shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
  - Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
  - Dimensions are to the face / corner of the building, face of curb, and centerline of pipe and fitting.
  - Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
  - Existing utilities shown on plans have been shown in their approximate locations per available information.
  - Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all spill sewage including contaminated soils per the requirements of the local municipality.
  - Proposed utilities that are to be buried within the same trenches shall be coordinated with and approved by the appropriate utility company.
  - Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
  - Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
  - Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
  - Utility lines less than 12 kv shall be reburied underground as required by the local municipality.
  - Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electric.

- WATER:**
- All water lines shall have 3" 0" min. cover above top of pipe.
  - All water lines shall be bedded in accordance with Governing Agencies standards and bedding detail, see detail sheet(s).
  - All water lines shall be hydraulically tested and disinfected in accordance with city standards and with a city inspector present.
  - All fire hydrants shall have a city approved gate valve installed within 5'-0" max. of the hydrant.
  - Any cleanouts, valve boxes, and meter boxes in the pavement area shall be installed with a concrete apron in accordance with the detail sheet.
  - Fire hydrants shall be installed in accordance with the standards / specifications of the local water utility company and local municipality.
- SANITARY SEWER:**
- All sanitary sewer lines shall have 3" 0" min. cover above top of pipe.
  - All sanitary sewer lines shall be bedded in accordance with Governing Agencies' standards and bedding detail, see detail sheet(s).
  - Sanitary sewer manholes located in grass area / non-paved area shall be constructed so that the rim is six (6) inches above proposed highest point of closest adjacent grade. In the event this can not be achieved then the manhole cover shall be water tight.
  - Contractor shall match top of proposed sanitary sewer manhole to proposed grade. If a discrepancy occurs between the proposed grade and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.

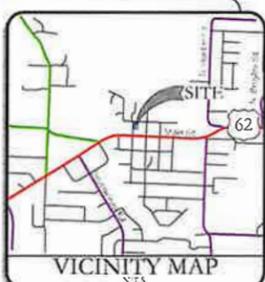


**Site General Notes:**

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Strip.
- All manholes shall be 4 feet at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.

**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE  
 ( IN FEET )  
 0 5 10 20



REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Large Scale Development for:  
**Beacon Ventures Commercial**  
 S. Bois D'Arc Street & W. White Street Farmington, Arkansas  
**Derek Winkle**  
 10740 Terpening Rd  
 Prairie Grove, AR 72753  
 (479) 530-2701

**NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!**

**BLEW**  
 Surveying | Engineering  
 Environmental

308 E. 5th St. Farmington, AR 72701  
 Phone: 501-475-7100 Fax: 501-475-7102

2025.04.15 21-3614

DESIGNED BY: A. Long DRAWN BY: J. Du Quenois

24-3614 Civil 004.dwg

**C2**

24-3614.dwg (derek.winkle Farmington, ar) civil drawings 24-3614 civil 004.dwg Plotted on 4/15/2025 9:06:16 AM @ a scale of 1:1 to autocad plot (smaller file) by Aaron Long

City of Farmington  
Application and Checklist  
Large Scale Development

Please fill out this form completely, supply all necessary information to support your request. Your application will not be placed on the agenda for Technical Plat Review or Planning Commission until all information is furnished.

Applicant: Blew & Associates Day Phone: (479) 443-4506  
 Address: 3825 N Shiloh Dr  
Fayetteville, AR 72703 Fax: \_\_\_\_\_

Representative: \_\_\_\_\_ Day Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ Fax: \_\_\_\_\_

Property Owner: Derek Winkle Day Phone: (479) 530-2701  
 Address: 10740 Terpening Rd  
Prairie Grove, AR 72753 Fax: \_\_\_\_\_

Indicate where correspondence should be sent (circle one): Applicant - Representative -- Owner

**Fee:** A non-refundable review fee of **\$500** is required at the time the application is accepted. *In the event engineering review fees and costs exceed \$500, the owners and/or developers shall reimburse the City of Farmington for all additional expenses incurred prior to review by the Farmington Planning Commission. In the event the Farmington Planning Commission requires modifications to the large scale development and additional engineering fees and costs are incurred, the owners and/or developers shall reimburse the City of Farmington before the large scale development is resubmitted to the Farmington Planning Commission.*

For office use only:

Fee paid \$	Date	Receipt #

Describe Proposed Property In Detail (Attach additional pages if necessary)

Property Description  
 Site Address -- S. Bois D'Arc Street & W. White Street  
 Current Zoning -- C-2  
 Attach legal description

**Financial Interests**

The following entities or people have a financial interest in this project:

- Derek Winkle
- Beacon Ventures, LLC

Applicant/Representative: *I certify under penalty of perjury that the foregoing statements and answers herein made, all data, information and evidence herewith submitted are in all respects, to the best of my knowledge and belief, true and correct. I understand that submittal of incomplete, incorrect or false information is grounds for invalidation of the application. I understand that the City of Farmington may not approve my application or may set conditions on approval.*

 Date 3/24/2025  
 Applicant Signature

Property Owner/Authorized Agent: *I certify under penalty of perjury that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing. (If signed by the authorized agent, a letter from the property owner must be provided indicating that the agent is authorized to act on his behalf.)*

 Date 3/24/25  
 Owner/Agent Signature

## LSD/Subdivision Application Checklist:

	Yes	No	N/A, why?
1. Completed application form which includes: name and address of person preparing application, name and address of property owner, including written, notarized documentation to verify that the applicant has permission to locate on property, zoning district, size of property, postal address and tax parcel number.	X		
2. Payment of application fee.	X		
3. A descriptive statement of the objective(s) for the new facility or material modification and the need for the type of facility and/or capacity requirements.	X		
4. Fifteen (15) copies of the site plan <b>folded</b> to a size of no greater than 10" X 10 ½ ".	X		
5. List of adjacent property owners and copy of notification letter sent. *	TBD		
6. White receipts from post office and green cards from registered letters (at least 7 days prior to the meeting).	TBD		
7. Proof of publication of public hearing notice, should be published a minimum of 15 days prior to planning commission meeting (proof must be provided at least 7 days prior to the meeting).	TBD		
<b>The Following Shall Appear on the Site Plan:</b>			
1. Names, addresses and telephone numbers of the record owners, applicant, surveyor, architect, engineer and person preparing the plat.	X		
2. Names, addresses and property lines and zoning of all property owners adjacent to the exterior boundaries of the project including across streets and rights of way shall be located at the general location of their property. *	X		
3. North arrow, graphic scale, acreage, date of preparation, zoning classification and proposed use.	X		
4. Complete and accurate legend.	X		
5. Title block located in the lower right hand corner indicating the name and type of project, scale, firm or individual preparing drawings, date and revision.	X		
6. Note regarding wetlands determination, if any. Note if Army Corps of Engineers determination is in progress.	X		
7. Written legal description. (If the project is in more than one tract the legal for each individual tract must be provided.)	X		
8. P.O.B. from a permanent well-defined reference point, P.O.B. must be clearly labeled.	X		
9. Clear representation of the FEMA Designated 100-year Floodplain and or Floodway and base flood elevations. Reference the FIRM panel number and effective date and the Corps of Engineers Flood Hazard Study.	X		
10. Status of regulatory permits:	TBD		
a. NPDES Storm water Permit			
b. 404 Permit			
c. Other			
11. Provide a benchmark, clearly defined with a precision of 1/100 <sup>th</sup> of a foot. This benchmark must be tied to NAVD 88 datum; Benchmarks include but are not limited to, the following: fire hydrant, manhole rim, drainage structure	X		

abutment, etc.			
12. Spot elevations at grade breaks along the flow line of drainage swales.	X		
13. A general vicinity map of the project at a scale of 1" = 2000'	X		
14. The location of all existing structures. Dimensions of buildings and setbacks from the building to property lines.	X		
15. Street right-of-way lines clearly labeled. The drawing shall depict any future ROW needs as determined by the AHTD and/or Master Street Plan. Future ROW as well as existing ROW and center lines should be shown and dimensioned.	X		
16. Existing topographic information with source of the information noted. Show:	X		
a. Two foot contour for ground slope between level and ten percent.			
b. Four foot contour interval for ground slope exceeding 10%.			
17. Preliminary grading plan.	X		
<b>Existing Utilities and Drainage Improvements (Copy of the Drainage Criteria Manual can be obtained from the City of Farmington)</b>			
1. Show all known on site and off-site existing utilities, drainage improvements and easements (dimensioned) and provide the structures, locations, types and condition and note them as "existing" on the plat.	X		
2. Existing easements shall show the name of the easement holder, purpose of the easement, and book and page number for the easement. If an easement is blanket or indeterminate in nature, a note to this effect should be placed on the plan.	X		
<b>Proposed Utilities</b>			
1. Regarding all proposed storm sewer structures and drainage structures:	X		
a. Provide structure location and types.			
b. Provide pipe types and sizes.			
2. Regarding all proposed sanitary sewer systems	X		
a. Provide pipe locations, sizes and types.			
b. Manhole locations.			
3. Note the occurrence of any previous sanitary sewer overflow problems on-site or in the proximity of the site			X
4. If a septic system is to be utilized, note that on the plat. Show the location and test data for all percolation tests.			X
5. Regarding all proposed water systems on or near the site:	X		
a. Provide pipe locations, sizes and types.			
b. Note the static pressure and flow of the nearest hydrant.			
c. Show the location of proposed fire hydrants, meters, valves, backflow preventers and related appurtenances.			
6. All proposed underground or surface utility lines if determined: (this category includes but is not limited to telephone, electrical, natural gas and cable.)	X		
a. Locations of all related structures.			
b. Locations of all lines above and below ground.			
c. A note shall be placed where streets will be placed under the existing overhead facilities and the			

approximate change in the grade for the proposed street.			
7. The width, approximate locations and purposes of all proposed easements or rights-of-way for utilities, drainage, sewers, flood control, ingress/egress or other public purposes within and adjacent to the project.	X		
<b>Proposed and Existing Streets, Rights-of –way and Easements</b>			
1. The location, widths and names (avoid using first names of people for new streets) of all exiting and proposed streets, allies, paths and other rights-of-way, whether public or private within and adjacent to the project; private easements within and adjacent to the project; and the centerline curve data; and all curb return radii. Private streets shall be clearly identified and named.	X		
2. A layout of adjoining property sufficient detail to show the affect of proposed and existing streets (including those on the master street plan), adjoining lots and off-site easements. This information can be obtained from the Master Street Plan.	X		
3. The location of all existing and proposed street lights (at every intersection, cul-de-sac and every 300 feet, and associated easements to serve each light.)	X		
<b>Site Specific Information</b>			
1. Provide a note describing any off site improvements.	X		
2. The location of known existing or abandoned water wells, sumps, cesspools, springs, water impoundments and underground structures within the project.			X
3. The location of known existing or proposed ground leases or access agreements, if known. (e.g. shared parking lots, drives, areas of land that will be leased.)			X
4. The location of all known potentially dangerous areas, including areas subject to flooding, slope stability, settlement, excessive noise, previously filled areas and the means of mitigating the hazards (abatement wall, signage, etc.)			X
5. The boundaries, acreage and use of existing and proposed public area in and adjacent to the project. If land is to be offered for dedication for park and recreation purposes it shall be designated.			X
6. For large scale residential development, indicate the use and list in a table the number of units and bedrooms.			X - Non-Res.
7. For non-residential use, indicate the gross floor area and if for multiple uses, the floor area devoted to each type of use. (Large Scale Developments only.)	X		
8. The location and size of existing and proposed signs, if any.	X		
9. Location and width of curb cuts and driveways. Dimension all driveways and curb cuts from side property line and surrounding intersections.	X		
10. Location, size, surfacing, landscaping and arrangement of parking and loading areas. Indicate pattern of traffic flow; include a table showing required, provided and handicapped accessible parking spaces. (Large Scale Developments only.)	X		
11. Location of buffer strips, fences or screen walls, where required (check the zoning ordinance).	X		
12. Location of existing and purposed sidewalks.	X		
13. Finished floor elevation of existing and purposed structures.	X		
14. Indicate location and type of garbage service (Large Scale			Roll Out Cart

Developments only.) Dimension turnaround area at dumpster location.			
15. A description of commonly held areas, if applicable.			X
16. Draft of covenants, conditions and restrictions, if any.			X
17. Draft POA agreements, if any.			X
18. A written description of requested variances and waivers from any city requirements.	TBD		
19. Show required building setbacks for large scale developments. Provide a note on the plat of the current setback requirements for the subdivision. A variance is necessary from the Board of Adjustment for proposed setbacks less than those set forth in the zoning district.	X		
20. Preliminary drainage plan as required by the consulting engineer.	X		

*\*All applicants submitting preliminary plats and Large Scale Developments before the Farmington Planning Commission shall provide written notice of the time and place of the regular or special meeting to the owners of all real property adjacent to the project. The notice shall include the name and address of the applicant, location of the project, and the time and place of the scheduled meeting. Notices shall be sent by certified mail, return receipt requested, to the last known address shown on the most recent tax records at the Washington County Tax Collector's Office. (A sample notification and affidavit is attached.) Applicants must submit a verified affidavit attesting to the delivery of the notice to all owners of real property adjacent to the project, a copy of the notice to each property owner, and copies of receipts evidencing pre-paid postage for each notice. The affidavit and supporting documents referred to above must be submitted seven (7) days prior to the regular or special meeting of the planning commission.*

**NOTICE OF PUBLIC HEARING**

A petition for Large Scale Development for the property as described below has been filed with the City of Farmington on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

*PLACE LEGAL DESCRIPTION OF PROPERTY HERE*

A public hearing to consider this Large Scale Development will be held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at six o'clock p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

*Proof of publication of public hearing notice, must be published a minimum of 10 days prior to the Planning Commission meeting (proof must be provided at least 7 days prior to the meeting).*

**NOTICE OF PUBLIC HEARING BEFORE  
THE FARMINGTON PLANNING COMMISSION  
ON AN APPLICATION FOR LARGE SCALE DEVELOPMENT**

**To All Owners** of land lying adjacent to the property at:

---

Location

---

Owned by

NOTICE IS HEREBY GIVEN THAT an application has been filed for LARGE SCALE DEVELOPMENT of the above property .

A public hearing on said application will be held by the Farmington Planning Commission at Farmington City Hall, 354 W. Main St. on \_\_\_\_\_ at 6:00 p.m.

All parties interested in this matter may appear and be heard at said time and place; or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the City Business Manager at City Hall, 354 W. Main, 479-267-3865.

**File# 2024-00027951**

**WARRANTY DEED  
(Limited Liability Company)**

KNOW ALL MEN BY THESE PRESENTS:

That **Heidi Holdings LLC**, a limited liability company organized under and by virtue of the laws of the State of Arkansas, (herein "Grantor"), by and through its authorized Members, for the consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by **Beacon Ventures LLC**, an Arkansas limited liability company, (herein "Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto the said Grantee, and unto Grantee's successors and assigns forever, the following described land, situate in the County of Washington, State of Arkansas, to-wit:

**TRACT 2 OF THE LOT SPLIT OF LOTS 1 THROUGH 4, BLOCK 2, ORIGINAL TOWN OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON SURVEY RECORD 2024 AT PAGE 23988, BEING MORE PARTICULARLY DESCRIBED AS LOTS 1, 2 AND A PART OF LOT 3, BLOCK 2, THE ORIGINAL TOWN OF FARMINGTON, AS SHOWN IN PLAT BOOK 4 AT PAGE 155, ON FILE WITH THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT; COMMENCING AT AN EXISTING 1" PIPE FOR THE SOUTHEAST CORNER OF LOT 6, SAID BLOCK 2, AND RUNNING THENCE N87°53'16"W 192.37' TO A SET 1/2" REBAR FOR THE POINT OF BEGINNING, THENCE CONTINUING N87°53'16"W 107.37' TO A SET 1/2" REBAR, THENCE N02°15'46"E 150.47' TO A SET 1/2" REBAR, THENCE S87°45'34"E 107.37' TO A SET 1/2" REBAR. THENCE S02°15'46"W 150.23' TO THE POINT OF BEGINNING. CONTAINING 0.37 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.**

**Subject to recorded instruments, covenants, rights of way, and easements, if any. Subject to all prior mineral reservations and oil and gas leases, if any.**

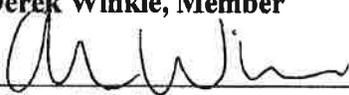
[Legal description provided by Realty Title & Closing Services, LLC.]

TO HAVE AND TO HOLD the same unto the said Grantee, and unto Grantee's successors and assigns forever, with all tenements, appurtenances and hereditaments thereunto belonging.

AND Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said lands, that the same is unencumbered, and that Grantor will forever warrant and defend the title to the said lands against all claims whatsoever.

IN TESTIMONY WHEREOF, the name of the Grantor is hereunto affixed by its authorized Members, this 22 day of October, 2024.

MAIL TAX STATEMENTS TO:  
Beacon Ventures LLC  
5569 W. Persimmon St.  
Fayetteville, AR 72704

**HEIDI HOLDINGS LLC**  
  
\_\_\_\_\_  
**Derek Winkle, Member**  
  
\_\_\_\_\_  
**Allison Winkle, Member**

Please see the attached Real Estate Transfer Tax Stamp for proof of tax paid and certification that documentary stamps or a documentary symbol in the legally correct amount have been placed on this instrument.

**ACKNOWLEDGEMENT**

STATE OF ARKANSAS )  
 ) ss.  
COUNTY OF Washington )

On this day, before undersigned, a Notary Public, duly commissioned, qualified and acting, within and for the said County and State, appeared in person the within named **Derek Winkle** and **Allison Winkle**, to me personally known, who stated that they were the authorized **Members** of **Heidi Holdings LLC**, an Arkansas limited liability company, and were duly authorized in said capacities to execute the foregoing instrument for and in the name and behalf of said company, and further stated and acknowledged that they had so signed, executed and delivered said instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal this 22 day of October, 2024.

My Commission Expires:

  
\_\_\_\_\_  
Notary Public



Instrument prepared by:  
Stephen J. Miller, Attorney – Harrington Miller Law Firm  
4710 S. Thompson, Suite 102, Springdale, AR 72764  
www.arkansaslaw.com | (479) 751-6464



STATE OF ARKANSAS  
DEPARTMENT OF FINANCE AND ADMINISTRATION  
MISCELLANEOUS TAX SECTION  
P.O. BOX 896, LITTLE ROCK, AR 72203-0896

Real Estate Transfer Tax Stamp

Proof of Tax Paid



File Number: 24-86613S

**Grantee:** BEACON VENTURES LLC  
**Mailing Address:** 5569 W PERSIMMON ST  
FAYETTEVILLE AR 727047506

**Grantor:** HEIDI HOLDINGS, LLC  
**Mailing Address:** X  
X AR 000000000

**Property Purchase Price:** \$200,000.00  
**Tax Amount:** \$660.00

**County:** WASHINGTON  
**Date Issued:** 10/24/2024  
**Stamp ID:** 450102272

Washington County, AR  
I certify this instrument was filed on  
10/24/2024 11:48:27 AM  
and recorded in REAL ESTATE

File# 2024-00027951  
Kvle Svlvester - Circuit Clerk

I certify under penalty of false swearing that documentary stamps or a documentary symbol in the legally correct amount has been placed on this instrument

**Grantee or Agent Name (printed):** Catherine Delarber

**Grantee or Agent Name (Signature):** **Date:** 10/24/24

**Address:** & Closing Services LLC

**City/State/Zip:** 3866 W. Sunset, Springdale AR 72762  
479-582-9383



Account #: NWC5301346

Company: BLEW & ASSOCIATES  
3825 N SHILOH DR  
FAYETTEVILLE, AR 72703

Ad number #: 497589

PO #:

Matter of: PH Farmington VAR Request

**AFFIDAVIT • STATE OF ARKANSAS**

I, Maria Hernandez-Lopez, do solemnly swear that I am the Legal Clerk of the **NWA Democrat Gazette**, a daily newspaper printed and published in WASHINGTON/BENTON county, State of ARKANSAS; that I was so related to this publication at and during the publication of the annexed legal advertisement in the matter of :

PH Farmington VAR Request

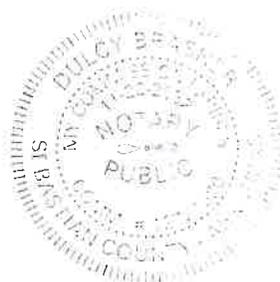
Pending in the court, in said County, and at the dates of the several publications of said advertisement stated below, and that during said periods and at said dates, said newspaper was printed and had a bona fide circulation in said County, that said newspaper had been regularly printed and published in said county, and had a bona fide circulation therein for the period of one month before the date of the first publication of said advertisement; and that said advertisement was published in the regular daily issues of said newspaper as stated below.

And that there is due or has been paid the **NWA Democrat Gazette** for publication the sum of \$136.80.  
(Includes \$0.00 Affidavit Charge).

*NWA Democrat Gazette 04/13/25; NWA nwaonline.com 04/13/25*

Maria Hernandez-Lopez  
Legal Clerk

State of ARKANSAS, County of Sebastian,  
Subscribed and sworn to before me on this 14th day of April, 2025



D. Reiter  
NOTARY PUBLIC

A petition for a variance at the property described below has been filed with the City of Farmington on the 1st day of April, 2025.

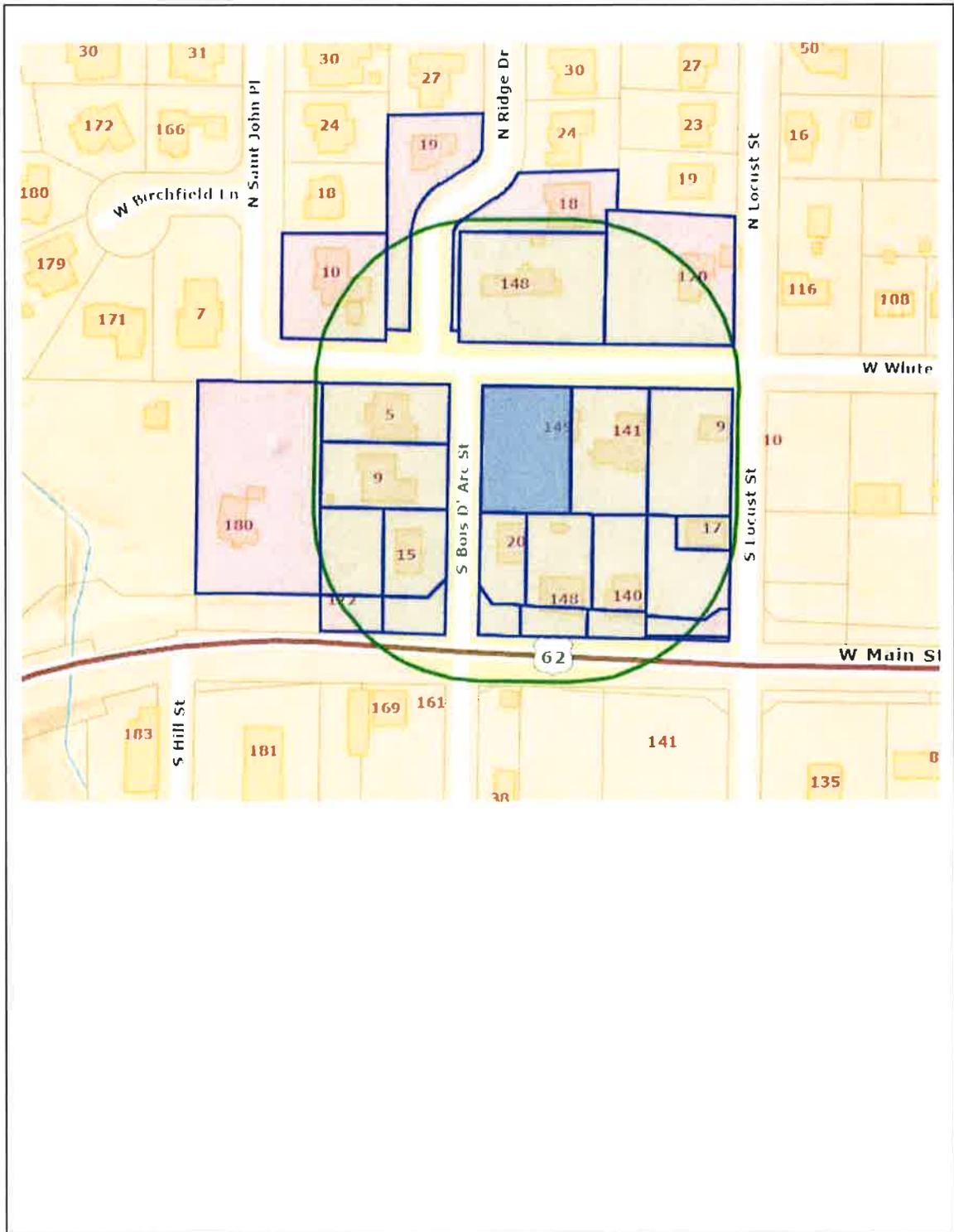
LOTS 1, 2 AND A PART OF LOT 3, BLOCK 2, THE ORIGINAL TOWN OF FARMINGTON, AS SHOWN IN PLAT BOOK 4 AT PAGE 155, ON FILE WITH THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT AN EXISTING 1" PIPE FOR THE SOUTHEAST CORNER OF LOT 6, SAID BLOCK 2, AND RUNNING THENCE N87°53'16"W 192.37' TO AN EXISTING 1/2" REBAR FOR THE POINT OF BEGINNING, THENCE CONTINUING N87°53'16"W 107.37' TO AN EXISTING 1/2" REBAR, THENCE N02°15'46"E 150.47' TO AN EXISTING 1/2" REBAR, THENCE S87°45'34"E 107.37' TO AN EXISTING 1/2" REBAR, THENCE S02°15'46"W 150.23' TO THE POINT OF BEGINNING, CONTAINING 0.37 ACRES, MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

We are requesting a variance to the Off-Street Parking Requirements listed in the City of Farmington Code of Ordinances 14.04.05(b)(2) for Highway Commercial Zoning (C-2). Per the Code, 1 Parking Space is required every 200 SF of Floor Area (Office) and 1 Parking Space is required every 500 SF of Floor Area (Other, Storage). The Proposed Building (~63 ft by ~50 ft) has ~396.18 SF of Office Area, ~2,242.55 SF of Storage Area, and therefore requires 9 spaces per the City Code. There are 8 parking spaces proposed (7 standard spaces, 1 van accessible space and loading area). The reason for this request is to maintain the required street landscape buffers and curb and gutter for the parking area, while maintaining a 5' grading buffer to the adjacent property owner to the east.

A public meeting to consider this request for variance at the above-described property will be held on 28th day of April, 2025, at 6:00 p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

April 13, 2025 497589

ADJACENT PROPERTY OWNER MAP



Name: Beacon Ventures Commercial

**NOTICE OF PUBLIC HEARING BEFORE  
THE FARMINGTON PLANNING COMMISSION  
ON AN APPLICATION FOR LARGE SCALE DEVELOPMENT**

**To All Owners** of land lying adjacent to the property at:

South Bois D'Arc Street & West White Street, Farmington, AR

---

Location

Beacon Ventures, LLC

---

Owned by

NOTICE IS HEREBY GIVEN THAT an application has been filed for LARGE SCALE DEVELOPMENT of the above property .

A public hearing on said application will be held by the Farmington Planning Commission at Farmington City Hall, 354 W. Main St. on April 28th, 2025 at 6:00 p.m.

All parties interested in this matter may appear and be heard at said time and place; or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the City Business Manager at City Hall, 354 W. Main, 479-267-3865.

All documents for mailings were provided.

# BLEW

Surveying | Engineering  
Environmental

March 25, 2025

City of Farmington – Planning Department  
354 W. Main  
Farmington, AR 72730

SUBJECT: Beacon Ventures Commercial – Large Scale Development – Plan Submittal

To Whom It May Concern:

A Large-Scale Development project is proposed at S. Bois D’Arc Street & W. White Street consisting of an Office/Shop Building with associated parking and additional development requirements as dictated by the City of Farmington. The site, formerly a residential house, is being sold for commercial development. The site consists of one 0.37-acre parcel on the SE corner of the intersection of S. Bois D’Arc Street and W. White Street.

The owner is proposing a curb cut/entrance on South Bois D’Arc Street.

Additionally, this project will involve the construction of a new dry detention basin and bioretention cell on the West side of the site. A drainage study per the City of Farmington Drainage Criteria Manual has been included in this submittal.

## Buildings:

Construction of a new 4,498.80 sf Office/Shop building is proposed with this project.

## Water:

A 1” service line is proposed to serve the Office/Shop. An existing water service crosses West White Street onto our property to existing meters. We are proposing to tie-in to and extend from this existing service if the waterline is in good condition.

## Sanitary Sewer:

A 4” sanitary sewer service is proposed to meet the demand of the Office/Shop. The 4” sanitary sewer service will connect to an existing 6” Sewer Main running under South Bois D’Arc Street.

## Franchise Utilities:

Fiber Optic Lines on the South side of the property will be saved. A Gas Meter North of the property within the R.O.W. of W. White Street will need to be relocated away from the proposed sidewalk per Master Street Plan Section.

## Storm Water:

Stormwater will comply with the City of Farmington’s Drainage Manual. A dry detention pond and bioretention is being proposed to handle the different storm events as well as the water quality for the site in its post-developed state.



479-443-4506



blewinc.com



3825 N Shiloh Dr.  
Fayetteville, AR 72703

### Streets:

Street Improvements are proposed on both South Bois D'Arc Street and West White Street to match the City of Farmington Master Street Plan Section. We are proposing for these "Local Streets" on our property's side of the centerline to widen the asphalt to a 13' lane, curb and gutter, 6' greenspace, 5' sidewalk, and 6" to the M.S.P. Right-of-Way/Property Line. The property is proposing to dedicate 582.17 sf of R.O.W. with these street improvements. Access is proposed via a curb cut/entrance on South Bois D'Arc Street.

### Fire Access:

Fire Access will remain the same as in the existing condition. An existing Fire Hydrant is located North of the property in the R.O.W. on the South side of West White Street. The sidewalk per the Master Street Plan Section conflicts with that existing hydrant. We will propose the fire hydrant location where the City prefers or save it in its current location.

### Parkland:

Not Applicable

### Tree Preservation:

An existing tree is located at the SW corner of the intersection of West White Street and South Bois D'Arc Street. This 34" Elm Tree conflicts with the Master Street Plan improvements and will likely cause sight distance issues at the intersection. Thus, the tree is proposed to be removed.

### Variances:

A few variances are proposed with this development. Please see the Variance Request Letter also included in this submittal.

- 1) A variance is proposed for Off-Street Parking less than the required spaces per City of Farmington Code of Ordinances Sec. 14.04.05(b)(2). The proposed Service Space (Building GFA: 4,498.80 sf) requires 11 spaces per code. The parking spaces proposed are 5 total spaces (4 standard, 1 van accessible).
- 2) A variance is proposed for a Street Frontage Buffer Landscaping of less than required per the City of Farmington Code of Ordinances Sec. 14.04.19(c). The required depth is 15' but we are proposing a 13.18' deep buffer, in order to get handicap parking, sidewalk access, and the building within the ~107' of lot depth.
- 3) A variance is proposed for the C-2 Rear Yard requirement of 20' per City of Farmington Code of Ordinances Sec. 14.04.05(b)(2). The Street Frontage Buffer Landscaping and Parking requirements dictate the building's distance from South Bois D'Arc Street, putting the building's proposed setback at 10'. The ~107' lot depth prevents us from putting a reasonable building on this lot within the Zoning yard requirements, while maintaining the developments parking and accessibility requirements.

Sincerely,



Aaron Long  
Blew & Associates, PA

**CITY OF FARMINGTON**  
**TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: Derek Winkle

Date: April 1, 2025

Project Name: Beacon Ventures Commercial LSD

Engineer/Architect: Blew & Associates, PA

---

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting.** The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above in order for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

---

Representing: KMS Engineering/Farmington

Name: Christopher Brackett, P.E.

1. Note that the instructions above say that the technical plat comments must be addressed prior to the re-submission, and that a narrative for each comment must be submitted along with the revised plat.
2. Along with the hard copies required for the City, one digital copy of everything included in the submission shall be emailed to KMS at [chris@kms-engr.com](mailto:chris@kms-engr.com).
3. All off-street parking shall be dust free and include concrete curb and gutter.
4. This development has less than half of the required parking. I recommend that this project cannot move forward until the parking issues are resolved.
5. You need to label the width of the right-of-way, the width of the widening, green space and sidewalk.
6. You will need to show a transition from the widening to the existing pavement.
7. You will need to capture the runoff from the widening on the south end.
8. Explain the paved areas on the north and south sides of the development at are completely blocked off by the parking provided.
9. The parking lot will not be allowed to drain directly into the street. You will have to capture this runoff in your storm sewer system.
10. You need to show how the offsite runoff that is being blocked by your retaining wall will travel into the parking lot to the south.
11. All work within ArDOT's right-of-way will require a permit from ArDOT including the drainage connection to the curb inlet. This permit will be required prior to the grading permit for this project.
12. How will the trash be served.
13. Drainage Report:
  - a. You need to provide the curve number calculations for each basin.
  - b. The entire flow path for the predevelopment area should be sheet flow.
  - c. You need to show the flow path for the post development area.
  - d. This review was not completed since the added parking needed will change this report.



**Fire Department**  
 City of Farmington, AR  
 372 W. Main St.  
 Farmington, AR 72730  
 479-267-3338



Date: 4/1/25

William Hellard

Fire Chief

Farmington Fire Department

372 W Main St. Farmington, AR, 72730

Subject: Beacon

Provide documentation that the hydrant on White will provide the fire flow needed. If flow cannot be achieved, sprinklers will need to be added.

The building shall be equipped with a monitored fire alarm and Knox box installed on the front of the building near the entrance door.

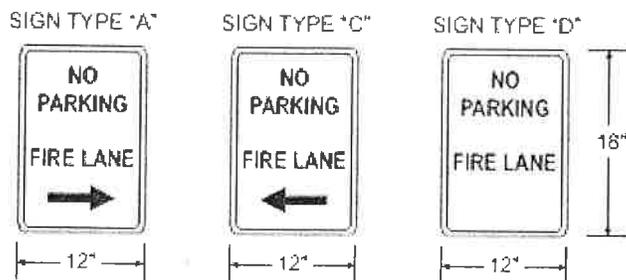
Fire access will be provided so that all portions of the building will within 150 ft of a fire access road

**Fire Lane Signage**

Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide (6096 to 7925 mm).

**D103.6.2 Roads More Than 26 Feet in Width**

Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm).





## Earthplan Design Alternatives, PA

Civil Engineering / Landscape Architecture

### TECHNICAL REVIEW LETTER

---

**Project: Beacon Ventures Commercial LSD**

**EDA project #: 2604\_F**

**Letter creation: April 1, 2025**

**Tech Plat Review Meeting: April 1, 2025**

---

Mrs. McCarville,

We have reviewed the LSD plans submittal by Blew & Associates for the project known as Beacon Ventures Commercial LSD received by EDA on March 26, 2025. The date in the title block's title block is 3/25/25. Based on our review of the City's landscape code, we offer the following comments:

1. *All below items shall be addressed on the plans and a narrative letter describing how said items have been addressed must be submitted with the resubmittal. Submit a copy to the City and to Sarah Geurtz at [sdg@eda-pa.com](mailto:sdg@eda-pa.com).*
2. Please label all existing easements this sheet and add any proposed easements (if they are required).
3. Walled retention pond: what is the 2 year inundation depth of the pond? While I understand the choice of *Quercus bicolor* in the pond area, I have concerns about the amount of water an 8' deep retention pond will hold over the roots, and about the amount of sunlight these trees will receive in this 8' deep and 8' wide concrete space; I do not expect them to live.
4. North side: Consult with City regarding if they are in support of the proposed trees and shrubs being planted outside of the subject property.
5. West side: S Bois D'Arc St street buffer: The 15' main street buffer is not met because it overlaps the pavement area. Please adjust site plan to meet this requirement.
6. Foundation Plantings: In addition to that shown on the plan on the west side of the building, building frontage landscaping facing W White St is required (Plantings are required in planting beds immediately adjacent to the building, spanning a minimum of ¼ of total building frontage (Per 14.04.21)).
7. Perimeter Landscaping:
  - a. code 14.04.20 (c) requires one shade tree and three shrubs per 35' for perimeter landscaping on the east and south sides. If you cannot plant trees due to underground lines in areas, add a callout note to the plans for said areas.
8. Commercial Against Residential use: Due to the residential property use to the immediate east and south, complete screening on these sides by means of a privacy barrier a minimum of 6' in height

and landscaping consisting of as many trees and shrubs as necessary to provide 60% coverage of the fence within 2 years of planting in front of the fence is required (14.04.20 (b)(6)).

9. Southern Side:

a. *Parking (code 14.04.22):*

- i. Please show parking spaces on this sheet.
  - ii. Parking lots are required to be screened from residential uses (the properties to the south and north are both residential uses). Please explain what the uses are of the asphalt to the north and south of the building (screening of these areas may also be required, depending on their use).
10. Landscape General Note needed: Add note stating "all plant material shall be planted in accordance with City Code and survival shall be warranted for 24 months from date of installation. If any plant material fails to survive during the 24 month period, it shall be replaced within the time period required by City Code.
11. Will there be a dumpster on this site? If so, show it on the plans and provide vegetative screening (Sec. 14.04.23, (b)(6)).
12. Show or explain where mechanical screening will be provided. View 14.04.23 (c ) for screening requirements which apply to all roof, ground, and wall-mounted mechanical equipment.

If you have any questions, please do not hesitate to contact EDA.

*Please note that this review was for general compliance and does not warrant the work or documents submitted by the applicant and engineer; nor does it relieve the owner from any items discovered during design or construction which are deemed necessary to comply with City ordinances and criteria.*

Sincerely,



Sarah Geurtz, PLA

**CITY OF FARMINGTON  
TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: Blew & Associates

Date: 4/1/2025

Project Name: Beacon Ventures Commercial

Engineer/Architect: Blew & Associates

---

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

---

Representing: City of Farmington Name: Melissa McCarville

1. Engineering fees will accumulate as the development continues. We are billing the engineering fees monthly.
2. Adjacent property owners must be notified by certified mail; receipts should be submitted by one week prior to the Planning Commission meeting.
3. An advertisement regarding the development should be in the paper no later than 15 days prior to the planning commission meeting. Proof of publication must be provided when it is available. The Democrat Gazette only publishes legal notices on Sunday and the Washington County Enterprise Leader is published on Wednesday. **With this in mind, the ad has to be in the paper by Sunday, April 13, 2025, to meet the deadline.**
5. Please submit a revised plan by next Tuesday. The City requires 15 copies for planning commission. Plans must be folded with all sheets included in one set. We don't need all the detail for planning commission, a site plan and landscape plan would probably be sufficient. If I can also get a PDF version that can be distributed to the public and added to Facebook and our website that would be great.
6. A revised copy of the plan and drainage plan should be delivered to City Hall for Chris Brackett; he will also accept digital copies.
7. Planning Commission meeting will be **Monday April 28, 2025, at 6:00 pm.**
8. 479-575-8206 is listed as my phone, it is not. My number should be listed as 479-267-3865.

**CITY OF FARMINGTON  
TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: Blew & Associates      Date: 4/1/25

Project Name: Beacon Ventures Commercial

Engineer/Architect: Blew & Associates

---

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above in order for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

---

Representing: City of Fayetteville      Name: Justin Bland

1. According to our records there are existing water mains in the street along both project frontages. Please confirm and add to plans
2. Additional utility easement must be dedicated over existing water and sewer mains on this property that do not meet the current City of Fayetteville 10-foot minimum centered on the main(s).
3. There are two options for new utility taps on existing mains to serve this property. The first option is to contact Fayetteville Water & Sewer to pay for and schedule these taps to be performed by the City. The second option is to have these taps performed by a licensed utility contract approved by Fayetteville to perform service taps on live water and sewer mains. The second option requires a grading permit to be applied for with the City of Fayetteville, and these taps must be performed under direct supervision of a Fayetteville Public Works Inspector.

Received By: \_\_\_\_\_

# BLEW

Surveying | Engineering  
Environmental

April 15, 2025

City of Farmington – Planning Department  
354 W. Main  
Farmington, AR 72730

SUBJECT: Beacon Ventures Commercial – Large Scale Development – Plan Submittal

To Whom It May Concern:

A Large-Scale Development project is proposed at S. Bois D’Arc Street & W. White Street consisting of an Office/Shop Building with associated parking and additional development requirements as dictated by the City of Farmington. The site, formerly a residential house, is being sold for commercial development. The site consists of one 0.37-acre parcel on the SE corner of the intersection of S. Bois D’Arc Street and W. White Street.

The owner is proposing a curb cut/entrance on South Bois D’Arc Street.

Additionally, this project will involve the construction of a new dry detention basin on the North side of the site. A drainage study per the City of Farmington Drainage Criteria Manual has been included in this submittal.

## Buildings:

Construction of a new 3,238.73 sf Office/Shop building is proposed with this project.

## Water:

A 1” service line is proposed to serve the Office/Shop. An existing 6” water main runs along South Bois D’Arc Street. We are proposing to tap the water main via a 6”x1” tapping saddle and corp stop.

## Sanitary Sewer:

A 4” sanitary sewer service is proposed to meet the demand of the Office/Shop. The 4” sanitary sewer service will connect to an existing 6” Sewer Main running under South Bois D’Arc Street.

## Franchise Utilities:

Fiber Optic Lines on the South side of the property will be saved. A Gas Meter North of the property within the R.O.W. of W. White Street will need to be relocated away from the proposed sidewalk per Master Street Plan Section.

## Storm Water:

Stormwater will comply with the City of Farmington’s Drainage Manual. A dry detention pond and bioretention is being proposed to handle the different storm events as well as the water quality for the site in its post-developed state.

## Streets:

Street Improvements are proposed on both South Bois D’Arc Street and West White Street to match the City of Farmington Master Street Plan Section. We are proposing for these “Local Streets” on our property’s side of the



479-443-4506



blewinc.com



3825 N Shiloh Dr.  
Fayetteville, AR 72703

centerline to widen the asphalt to a 13' lane, curb and gutter, 6' greenspace, 5' sidewalk, and 6" greenspace to the M.S.P. Right-of-Way/Proposed Property Line. The property is proposing to dedicate 582.17 sf of R.O.W. with these street improvements. Access is proposed via a curb cut/entrance on South Bois D'Arc Street.

**Fire Access:**

Fire Access will remain the same as in the existing condition. An existing Fire Hydrant is located North of the property in the R.O.W. on the South side of West White Street. The sidewalk per the Master Street Plan Section conflicts with that existing hydrant. We will propose the fire hydrant location where the City prefers or save it in its current location.

**Parkland:**

Not Applicable

**Tree Preservation:**

An existing tree is located at the SW corner of the intersection of West White Street and South Bois D'Arc Street. This 34" Elm Tree conflicts with the Master Street Plan improvements and will likely cause sight distance issues at the intersection. Thus, the tree is proposed to be removed.

**Variations:**

One variance is proposed with this development.

- 1) A variance is proposed for Off-Street Parking less than the required spaces per City of Farmington Code of Ordinances Sec. 14.04.05(b)(2). The proposed Service Space (Building GFA: 3,238.73 sf) requires 9 spaces per code. The parking spaces proposed are 8 total spaces (7 standard, 1 van accessible).

Sincerely,



Aaron Long  
Blew & Associates, PA

# BLEW

Surveying | Engineering  
Environmental

April 15, 2025

City of Farmington  
354 W Main St  
Farmington, AR 72730

SUBJECT: Beacon Ventures Commercial – Narrative (Comment Responses)

Please see the attached narrative addressing each comment from each Technical Plat Review Committee Reviewer from the City of Farmington Technical Review Meeting (April 1<sup>st</sup>, 2025):

Christopher Brackett - KMS Engineering

1. Note that the instructions above say that the technical plat comments must be addressed prior to the re-submission, and that a narrative for each comment must be submitted along with the revised plat.

**Noted.**

2. Along with the hard copies required for the City, one digital copy of everything included in the submission shall be emailed to KMS at [chris@kms-engr.com](mailto:chris@kms-engr.com)

**Noted.**

3. All off-street parking shall be dust free and include concrete curb and gutter.

**Curb and Gutter now shown on revised Site/Utility Plan.**

4. This development has less than half of the required parking. I recommend that this project cannot move forward until the parking issues are resolved.

**In the revised planset, the building has a decreased footprint and thus requires less parking. The parking provided is now 8 spaces and the required parking is 9 spaces.**

5. You need to label the width of the right-of-way, the width of the widening, green space, and sidewalk.

**Width of Master Street Plan Right-of-Way shown, width of widening shown, green space width, and sidewalk width now shown.**

6. You will need to show a transition from the widening to the existing pavement.

**Transition apron is now shown from widening to existing pavement.**



479-443-4506



blewinc.com



3825 N Shiloh Dr.  
Fayetteville, AR 72703

7. You will need to capture the runoff from the widening on the south end.

**A curb inlet is now proposed to tie-in to this storm system at the south side of the widening. Please see the revised grading & drainage plan.**

8. Explain the paved areas on the north and south sides of the development that are completely blocked off by the parking provided.

**In the revised site plan, parking is on the south side of the building and the paved area to the east is for storage.**

9. The parking lot will not be allowed to drain directly into the street. You will have to capture this runoff in your storm sewer system.

**To capture the runoff draining into the street, a curb inlet on our parking lot and two curb inlets on South Bois D'Arc Street are proposed.**

10. You need to show how the offsite runoff that is being blocked by your retaining wall will travel into the parking lot to the south.

**Offsite Area 1A will flow over the proposed retaining wall and into the proposed ditch which will be captured by the detention pond. Offsite Area 1B will flow on the south side of the retaining wall, perpendicular to the 1200 & 1199 contours which are graded to bring that runoff into the south parking area where it will then be captured by the proposed storm system.**

11. All work within ArDOT's right-of-way will require a permit from ArDOT including the drainage connection to the curb inlet. This permit will be required prior to the grading permit for this project.

**Noted.**

12. How will the trash be served.

**The trash will be on roll-out cart. Wheel out to curb on trash day.**

13. Drainage report:

- a. You need to provide the curve number calculations for each basin.

**Curve numbers for each basin are now shown.**

- b. The entire flow path for the predevelopment area should be sheet flow.

**The entire flow path for predeveloped areas are now shown as sheet flow.**

- c. You need to show the flow path for the post development area.

**Flow paths for the post development areas are now shown.**

- d. This review was not completed since the added parking needed will change this report.

**Noted.**

William Hellard - Fire Department

1. Provide documentation that the hydrant on White will provide the fire flow needed. If flow cannot be achieved, sprinklers will need to be added.

**A fire hydrant flow test has been scheduled with Fayetteville Meter Department. Once completed, we will send the results to the City of Farmington.**

2. The building shall be equipped with a monitored fire alarm and Knox box installed on the front of the building near the entrance door.

**Noted.**

3. Fire access will be provided so that all portions of the building will within 150 ft of a fire access road.

**Noted.**

4. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide (6096 to 7925 mm).

**Noted. Please see fire lane signs added on both sides of driveway access. Additionally, see the fire lane signs (2) on South Bois D'Arc Street and fire lane sign on West White Street.**

5. D103.6.2 Roads More Than 26 Feet in Width. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm).

**The driveway is 24 feet in width.**

Sarah Geurtz - Earthplan Design Alternatives

1. All below items shall be addressed on the plans and a narrative letter describing how said items have been addressed must be submitted with the resubmittal. Submit a copy to the City and to Sarah Geurtz at [sdg@eda-pa.com](mailto:sdg@eda-pa.com)

**Noted.**

2. Please label all existing easements this sheet and add any proposed easements (if they are required).

**A 20' utility easement is proposed to be dedicated for the 6" Sanitary Sewer Main (VCP) on this property. Please see the revised plans.**

3. Walled retention pond: what is the 2 year inundation depth of the pond? While I understand the choice of Quercus bicolor in the pond area, I have concerns about the amount of water an 8' deep retention pond will hold over the roots, and about the amount of sunlight these trees will receive in this 8' deep and 8' wide concrete space; I do not expect them to live.

**The pond has changed. Please see revised grading plan and landscape plan.**

4. North side: Consult with City regarding if they are in support of the proposed trees and shrubs being planted outside of the subject property.

**The north side proposed trees and shrubs have been moved inside of the subject property.**

5. West side: S Bois D'Arc St street buffer: The 15' main street buffer is not met because it overlaps the pavement area. Please adjust the site plan to meet this requirement.

**The street buffers have been maintained fully in the revised plans for both S Bois D'Arc Street and W White Street.**

6. Foundation Plantings: In addition to that shown on the plan on the west side of the building, building frontage landscaping facing W White St is required (Plantings are required in planting beds immediately adjacent to the building, spanning a minimum of ¼ of total building frontage (Per 14.04.21)).

**The foundation plantings spanning ¼ of the total building frontage have been added on both sides of the building facing the street.**

7. Perimeter Landscaping:
  - a. code 14.04.20 (c) requires one shade tree and three shrubs per 35' for perimeter landscaping on the east and south sides. If you cannot plant trees due to underground lines in areas, add a callout note to the plans for said areas.

**Per Code 14.04.20 (b)(3) "If land behind a commercial property is adjacent to another commercial zone, no fencing or landscaping is required."**

8. Commercial Against Residential use: Due to the residential property use to the immediate east and south, complete screening on these sides by means of a privacy barrier a minimum of 6' in height and landscaping consisting of as many trees and shrubs as necessary to provide 60% coverage of the fence within 2 years of planting in front of the fence is required (14.04.20 (b)(6)).

**According to the City of Farmington Zoning Map, properties to the east and south are zoned C-2.**

9. Southern Side:
  - a. Parking (code 14.04.22):
    - i. Please show parking spaces on this sheet.

**Parking Spaces now shown on Landscape Plan.**

- ii. Parking lots are required to be screened from residential uses (the properties to the south and north are both residential uses). Please explain what the uses are of the asphalt to the north and south of the building (Screening of these areas may also be required, depending on their use).

**Properties to the east and south are commercial. The main parking lot will be to the south of the building and the asphalt to the east of the building will be used for storage.**

10. Landscape General Note needed: Add note stating "all plant material shall be planted in accordance with City Code and survival shall be warranted for 24 months from date of installation. If any plant material fails to survive during the 24 month period, it shall be replaced within the time period required by City Code.

**Note added to revised Landscape Plan.**

11. Will there be a dumpster on this site? If so, show it on the plans and provide vegetative screening (Sec. 14.04.23, (b)(6)).

**There will be no dumpster on this site. Trash via roll out cart.**

12. Show or explain where mechanical screening will be provided. View 14.04.23 (c) for screening requirements which apply to all roof, ground, and wall-mounted mechanical equipment.

**Note added to Landscape Plan to screen all Roof, Ground & Wall Mounted Mechanical Equipment.**

Melissa McCarville – City of Farmington

1. Engineering fees will accumulate as the development continues. We are billing the engineering fees monthly.

**Noted.**

2. Adjacent property owners must be notified by certified mail; receipts should be submitted by one week prior to the Planning Commission meeting.

**Noted.**

3. An advertisement regarding the development should be in the paper no later than 15 days prior to the planning commission meeting. Proof of publication must be provided when it is available. The Democrat Gazette only publishes legal notices on Sunday and the Washington County Enterprise Leader is published on Wednesday. With this in mind, the ad has to be in the paper by Sunday, April 13, 2025, to meet the deadline.

**Noted.**

4. Please submit a revised plan by next Tuesday. The City requires 15 copies for planning commission. Plans must be folded with all sheets included in one set. We don't need all the detail for planning commission; a site plan and landscape plan would probably be sufficient. If I can also get a PDF version that can be distributed to the public and added to Facebook and our website that would be great.

**Noted.**

5. A revised copy of the plan and drainage plan should be delivered to City Hall for Chris Brackett; he will also accept digital copies.

**Noted.**

6. Planning Commission meeting will be Monday April 28, 2025, at 6:00 pm.

**Noted. Date on Calendar.**

7. 479-575-8206 is listed as my phone, it is not. My number should be listed as 479-267-3865.

**Phone number changed on cover sheet.**

Justin Bland – City of Fayetteville

1. According to our records there are existing water mains in the street along both project frontages. Please confirm and add to plans.

**Confirmed and added to plans.**

2. Additional utility easement must be dedicated over existing water and sewer mains on this property that do not meet the current City of Fayetteville 10-foot minimum centered on main(s).

**A 20' utility easement is proposed to be dedicated for the 6" Sanitary Sewer Main (VCP) on this property. Please see the revised plans.**

3. There are two options for new utility taps on existing mains to serve this property. The first option is to contact Fayetteville Water & Sewer to pay for and schedule these taps to be performed by the City. The second option is to have these taps performed by a licensed utility contract approved by Fayetteville to perform service taps on live water and sewer mains. The second option requires a grading permit to be applied for with the City of Fayetteville, and these taps must be performed under direct supervision of a Fayetteville Public Works Inspector.

**Noted.**

Thank you,



Aaron Long  
Blew & Associates, PA

**City of Farmington  
Application and Checklist  
Preliminary Plat**

Please fill out this form completely, supply all necessary information to support your request. Your application will not be placed on the agenda for Technical Plat Review or Planning Commission until all information is furnished.

Applicant: KD Real Estate Investments, LLC Day Phone: \_\_\_\_\_  
 Address: P.O. Box 9387, Fayetteville, AR 72703 Fax: \_\_\_\_\_  
 Representative: Crafton Tull; Caroline Gardner Day Phone: 479-878-5801  
 Address: 300 N College Ave, Suite 317, Fayetteville, AR Fax: \_\_\_\_\_  
 Property Owner: KD Real Estate Investments, LLC Day Phone: \_\_\_\_\_  
 Address: P.O. Box 9387, Fayetteville, AR 72703 Fax: \_\_\_\_\_

Indicate where correspondence should be sent (circle one): Applicant – Representative – Owner

**Fee:** A non-refundable review fee of \$2,000 is required at the time the application is accepted, in the event engineering review fees and costs exceed \$2,000, the owners and/or developers shall reimburse the City of Farmington for all additional expenses incurred prior to review by the Farmington Planning Commission. In the event the Farmington Planning Commission requires modifications to the subdivision plat and additional engineering fees and costs are incurred, the owners and/or developers shall reimburse the City of Farmington before the plat is resubmitted to the Farmington Planning Commission.

For office use only:

Fee paid \$	Date	Receipt #

Describe Proposed Property In Detail (Attach additional pages if necessary)

**Property Description**

Site Address -- 275 E Old Farmington Rd, 19 & 25 S Holland Dr, Farmington, AR 72730 (parcel ID 760-02971-000, 760-02970-000, 760-02974-000, 760-02968-000, 760-02976-000)  
 Current Zoning R-1  
 Attach legal description

**Financial Interests**

The following entities or people have a financial interest in this project:

KD Real Estate Investments, LLC

Applicant/Representative: *I certify under penalty of perjury that the foregoing statements and answers herein made, all data, information and evidence herewith submitted are in all respects, to the best of my knowledge and belief, true and correct. I understand that submittal of incomplete, incorrect or false information is grounds for invalidation of the application. I understand that the City of Farmington may not approve my application or may set conditions on approval.*

 \_\_\_\_\_ Date 3/25/25  
 Applicant Signature

Property Owner/Authorized Agent: *I certify under penalty of perjury that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing. (If signed by the authorized agent, a letter from the property owner must be provided indicating that the agent is authorized to act on his behalf.)*

 \_\_\_\_\_ Date 3/25/25  
 Owner/Agent Signature

## LSD/Subdivision Application Checklist:

Yes No N/A, why?

1. Completed application form which includes: name and address of person preparing application, name and address of property owner, including written, notarized documentation to verify that the applicant has permission to locate on property, zoning district, size of property, postal address and tax parcel number.	X		
2. Payment of application fee.	X		Will mail check to Melissa McCarville.
3. A descriptive statement of the objective(s) for the new facility or material modification and the need for the type of facility and/or capacity requirements.	X		
4. Fifteen (15) copies of the site plan <b>folded</b> to a size of no greater than 10" X 10 ½ ".	X		
5. List of adjacent property owners and copy of notification letter sent. *	X		
6. White receipts from post office and green cards from registered letters (at least 7 days prior to the meeting).	X		Will send receipts and greens cards once mailings go out
7. Proof of publication of public hearing notice, should be published a minimum of 10 days prior to planning commission meeting (proof must be provided at least 7 days prior to the meeting).	X		proof of publication and affidavit before meeting
<b>The Following Shall Appear on the Site Plan:</b>			
1. Names, addresses and telephone numbers of the record owners, applicant, surveyor, architect, engineer and person preparing the plat.	X		
2. Names, addresses and property lines and zoning of all property owners adjacent to the exterior boundaries of the project including across streets and rights of way shall be located at the general location of their property.*	X		
3. North arrow, graphic scale, acreage, date of preparation, zoning classification and proposed use.	X		
4. Complete and accurate legend.	X		
5. Title block located in the lower right hand corner indicating the name and type of project, scale, firm or individual preparing drawings, date and revision.	X		
6. Note regarding wetlands determination, if any. Note if Army Corps of Engineers determination is in progress.	X		
7. Written legal description. (If the project is in more than one tract the legal for each individual tract must be provided.)	X		
8. P.O.B. from a permanent well-defined reference point, P.O.B. must be clearly labeled.	X		
9. Clear representation of the FEMA Designated 100-year Floodplain and or Floodway and base flood elevations. Reference the FIRM panel number and effective date and the Corps of Engineers Flood Hazard Study.	X		
10. Status of regulatory permits:			
a. NPDES Storm water Permit			
b. 404 Permit			
c. Other	X		National Wide Permit
11. Provide a benchmark, clearly defined with a precision of 1/100 <sup>th</sup> of a foot. This benchmark must be tied to NAVD 88 datum; Benchmarks include but are not limited to, the following: fire hydrant, manhole rim, drainage structure	X		

abutment, etc.			
12. Spot elevations at grade breaks along the flow line of drainage swales.	X		
13. A general vicinity map of the project at a scale of 1" = 2000'	X		
14. The location of all existing structures. Dimensions of buildings and setbacks from the building to property lines.	X		
15. Street right-of-way lines clearly labeled. The drawing shall depict any future ROW needs as determined by the AHTD and/or Master Street Plan. Future ROW as well as existing ROW and center lines should be shown and dimensioned.	X		
16. Existing topographic information with source of the information noted. Show:	X		
a. Two foot contour for ground slope between level and ten percent.	X		
b. Four foot contour interval for ground slope exceeding 10%.	X		
17. Preliminary grading plan.	X		
<b>Existing Utilities and Drainage Improvements (Copy of the Drainage Criteria Manual can be obtained from the City of Farmington)</b>			
1. Show all known on site and off-site existing utilities, drainage improvements and easements (dimensioned) and provide the structures, locations, types and condition and note them as "existing" on the plat.	X		
2. Existing easements shall show the name of the easement holder, purpose of the easement, and book and page number for the easement. If an easement is blanket or indeterminate in nature, a note to this effect should be placed on the plan.	X		
<b>Proposed Utilities</b>			
1. Regarding all proposed storm sewer structures and drainage structures:	X		
a. Provide structure location and types.	X		
b. Provide pipe types and sizes.			have not sized pipes and curb inlet extensions. will provide at construction documents
2. Regarding all proposed sanitary sewer systems	X		
a. Provide pipe locations, sizes and types.			
b. Manhole locations.			
3. Note the occurrence of any previous sanitary sewer overflow problems on-site or in the proximity of the site		X	per RJN capacity study, no ss overflow
4. If a septic system is to be utilized, note that on the plat. Show the location and test data for all percolation tests.	X		
5. Regarding all proposed water systems on or near the site:	X		
a. Provide pipe locations, sizes and types.	X		
b. Note the static pressure and flow of the nearest hydrant.		X	waiting on fire hydrant results from COF
c. Show the location of proposed fire hydrants, meters, valves, backflow preventers and related appurtenances.	X		
6. All proposed underground or surface utility lines if determined: (this category includes but is not limited to telephone, electrical, natural gas and cable.)		X	need to get layouts from franchise utilities
a. Locations of all related structures.			
b. Locations of all lines above and below ground.			
c. A note shall be placed where streets will be placed under the existing overhead facilities and the			

approximate change in the grade for the proposed street.			
7. The width, approximate locations and purposes of all proposed easements or rights-of-way for utilities, drainage, sewers, flood control, ingress/egress or other public purposes within and adjacent to the project.	X		
<b>Proposed and Existing Streets, Rights-of-way and Easements</b>			
1. The location, widths and names (avoid using first names of people for new streets) of all existing and proposed streets, allies, paths and other rights-of-way, whether public or private within and adjacent to the project; private easements within and adjacent to the project; and the centerline curve data; and all curb return radii. Private streets shall be clearly identified and named.	X		
2. A layout of adjoining property sufficient detail to show the affect of proposed and existing streets (including those on the master street plan), adjoining lots and off-site easements. This information can be obtained from the Master Street Plan.	X		
3. The location of all existing and proposed street lights (at every intersection, cul-de-sac and every 300 feet, and associated easements to serve each light.)	X		
<b>Site Specific Information</b>			
1. Provide a note describing any off site improvements.	X		
2. The location of known existing or abandoned water wells, sumps, cesspools, springs, water impoundments and underground structures within the project.		X	not aware of any
3. The location of known existing or proposed ground leases or access agreements, if known. (e.g. shared parking lots, drives, areas of land that will be leased.)		X	not aware of any
4. The location of all known potentially dangerous areas, including areas subject to flooding, slope stability, settlement, excessive noise, previously filled areas and the means of mitigating the hazards (abatement wall, signage, etc.)		X	not aware of any
5. The boundaries, acreage and use of existing and proposed public area in and adjacent to the project. If land is to be offered for dedication for park and recreation purposes it shall be designated.		X	
6. For large scale residential development, indicate the use and list in a table the number of units and bedrooms.			
7. For non-residential use, indicate the gross floor area and if for multiple uses, the floor area devoted to each type of use. (Large Scale Developments only.)			
8. The location and size of existing and proposed signs, if any.		X	will have at construction documents
9. Location and width of curb cuts and driveways. Dimension all driveways and curb cuts from side property line and surrounding intersections.	X		
10. Location, size, surfacing, landscaping and arrangement of parking and loading areas. Indicate pattern of traffic flow; include a table showing required, provided and handicapped accessible parking spaces. (Large Scale Developments only.)			
11. Location of buffer strips, fences or screen walls, where required (check the zoning ordinance).			na
12. Location of existing and proposed sidewalks.	X		
13. Finished floor elevation of existing and proposed structures.	X		
14. Indicate location and type of garbage service (Large Scale			

Developments only.) Dimension turnaround area at dumpster location.			
15. A description of commonly held areas, if applicable.			na
16. Draft of covenants, conditions and restrictions, if any.			not ready yet will provide at final plat
17. Draft POA agreements, if any.			not ready yet will provide at final plat
18. A written description of requested variances and waivers from any city requirements.	X		
19. Show required building setbacks for large scale developments. Provide a note on the plat of the current setback requirements for the subdivision. A variance is necessary from the Board of Adjustment for proposed setbacks less than those set forth in the zoning district.			
20. Preliminary drainage plan as required by the consulting engineer.	X		

*\*All applicants submitting preliminary plats and Large Scale Developments before the Farmington Planning Commission shall provide written notice of the time and place of the regular or special meeting to the owners of all real property adjacent to the project. The notice shall include the name and address of the applicant, location of the project, and the time and place of the scheduled meeting. Notices shall be sent by certified mail, return receipt requested, to the last known address shown on the most recent tax records at the Washington County Tax Collector's Office. (A sample notification and affidavit is attached.) Applicants must submit a verified affidavit attesting to the delivery of the notice to all owners of real property adjacent to the project, a copy of the notice to each property owner, and copies of receipts evidencing pre-paid postage for each notice. The affidavit and supporting documents referred to above must be submitted seven (7) days prior to the regular or special meeting of the planning commission.*

**NOTICE OF PUBLIC HEARING**

A petition for Preliminary Plat for the property as described below has been filed with the City of Farmington on the March day of 25, 2025.

*PLACE LEGAL DESCRIPTION OF PROPERTY HERE*

A public hearing to consider this Preliminary Plat will be held on the April day of 28, 2025, at six o'clock p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

*Proof of publication of public hearing notice, must be published a minimum of 10 days prior to the Planning Commission meeting (proof must be provided at least 7 days prior to the meeting).*

**NOTICE OF PUBLIC HEARING BEFORE  
THE FARMINGTON PLANNING COMMISSION  
ON AN APPLICATION FOR PRELIMINARY PLAT**

**To All Owners** of land lying adjacent to the property at:

275 E Old Farmington Rd, 19 & 25 S Holland Dr, Farmington, AR 72730 (parcel ID  
760-02971-000, 760-02970-000, 760-02974-000, 760-02968-000, 760-02976-000

---

Location

KD Real Estate Investments, LLC

---

Owned by

NOTICE IS HEREBY GIVEN THAT an application has been filed for PRELIMINARY PLAT of the above property .

A public hearing on said application will be held by the Farmington Planning Commission at Farmington City Hall, 354 W. Main St. on Monday, April 28, 2025 at 6:00 p.m.

All parties interested in this matter may appear and be heard at said time and place; or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the City Business Manager at City Hall, 354 W. Main, 479-267-3865.

SURVEY DESCRIPTION

PART OF THE NORTHWEST QUARTER (NW/4) OF THE NW/4 AND PART OF THE SOUTHWEST QUARTER (SW/4) OF THE NW/4 OF SECTION 25, TOWNSHIP 16 NORTH, RANGE 31 WEST, IN THE CITY OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SW/4 OF THE NW/4, A 1/2" REBAR IN SOUTH HOLLAND DRIVE; THENCE ALONG THE EAST LINE OF SAID SW/4 OF THE NW/4 SOUTH 02°07'02" WEST, A DISTANCE OF 532.22 FEET TO A MAGNAIL IN SOUTH HOLLAND DRIVE; THENCE LEAVING SAID EAST LINE NORTH 87°36'01" WEST, A DISTANCE OF 437.88 FEET; THENCE NORTH 87°41'38" WEST, A DISTANCE OF 427.71 FEET TO A 1/2" REBAR; THENCE NORTH 87°33'42" WEST, CROSSING A 1" PIPE AT A DISTANCE OF 439.10 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 439.72 FEET TO A POINT ON A BARBED WIRE FENCE; THENCE ALONG SAID FENCE FOR THE FOLLOWING FIVE (5) CALLS:

- 1) NORTH 02°30'56" EAST, A DISTANCE OF 39.88 FEET;
- 2) NORTH 03°11'28" EAST, A DISTANCE OF 48.50 FEET;
- 3) NORTH 04°39'37" EAST, A DISTANCE OF 5.48 FEET;
- 4) NORTH 02°40'08" EAST, A DISTANCE OF 116.81 FEET;
- 5) NORTH 02°40'52" EAST, A DISTANCE OF 128.86 FEET;

THENCE NORTH 03°38'49" EAST, A DISTANCE OF 190.70 FEET TO AN EXISTING 1" PIPE; THENCE SOUTH 87°36'09" EAST, A DISTANCE OF 250.12 FEET TO A 5/8" REBAR; THENCE NORTH 02°08'06" EAST, A DISTANCE OF 156.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°38'19" WEST, A DISTANCE OF 11.06 FEET TO A 1/2" REBAR; THENCE NORTH 02°13'24" EAST, CROSSING AN EXISTING 5/8" REBAR AT A DISTANCE OF 44.75 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 241.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°35'07" WEST, A DISTANCE OF 222.86 FEET TO A 5/8" REBAR; THENCE SOUTH 01°24'54" WEST, A DISTANCE OF 196.55 FEET; THENCE NORTH 87°26'22" WEST, CROSSING A PLASTIC CAPPED REBAR IN ASPHALT AT A DISTANCE OF 34.76 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 35.15 FEET TO THE WEST LINE OF SAID SECTION 25; THENCE ALONG SAID WEST LINE NORTH 02°20'49" EAST, CROSSING A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005" AT A DISTANCE OF 196.62 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 457.14 FEET TO A POINT ON SAID WEST SECTION LINE AT 0.38 FEET SOUTH OF AN EXISTING MAGNAIL; THENCE LEAVING SAID WEST LINE SOUTH 87°43'40" EAST, A DISTANCE OF 396.00 FEET; THENCE NORTH 02°20'49" EAST, CROSSING THE OCCUPIED SOUTH LINE OF LONGWITH ADDITION PHASE II AT 3.70 FEET WESTERLY FROM THE SOUTHEAST CORNER THEREOF AT A DISTANCE OF 1.39 FEET, ALSO CROSSING THE OCCUPIED SOUTH LINE OF LOT 5 OF SAID ADDITION AT A POINT 2.05 FEET WESTERLY FROM THE SOUTHEAST CORNER OF SAID LOT (AN EXISTING 1/2" REBAR) AT AN ADDITIONAL DISTANCE OF 263.15 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 660.52 FEET TO A POINT AT THE NORTH LINE OF SAID SECTION 25 AT 0.46 FEET EASTERLY FROM AN EXISTING MAGNAIL; THENCE ALONG SAID NORTH LINE SOUTH 87°47'37" EAST, A DISTANCE OF 587.79 FEET TO AN EXISTING MAGNAIL IN EAST OLD FARMINGTON ROAD; THENCE LEAVING SAID NORTH LINE SOUTH 02°28'06" WEST, A DISTANCE OF 249.90 FEET TO A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005"; THENCE SOUTH 87°46'55" EAST, A DISTANCE OF 118.25 FEET TO A PLASTIC CAPPED 1/2" REBAR

EMBOSSSED "ALAN REID 1005"; THENCE SOUTH 01°22'51" WEST, A DISTANCE OF 411.99 FEET TO A 5" WOOD FENCE CORNER POST; THENCE NORTH 87°40'35" WEST, A DISTANCE OF 0.20 FEET; THENCE SOUTH 01°52'53" WEST, A DISTANCE OF 429.89 FEET TO A 1/2" REBAR; THENCE SOUTH 87°44'19" EAST, CROSSING AN EXISTING PLASTIC CAPPED 5/8" REBAR EMBOSSSED "AR 1756/OK 1857" AT A DISTANCE OF 173.98 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 199.74 FEET; THENCE SOUTH 01°54'14" WEST, A DISTANCE OF 229.55 FEET TO THE POINT OF BEGINNING. CONTAINING 41.59 ACRES MORE OR LESS. SUBJECT TO EAST OLD FARMINGTON ROAD ALONG THE NORTH, SOUTH HOLLAND DRIVE ALONG THE EAST, AND SOUTH SPRAGUE LANE ALONG THE WEST. ALSO SUBJECT ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, UNWRITTEN RIGHTS OR RESTRICTIONS OF RECORD OR FACT.

BASIS OF BEARINGS: ARKANSAS STATE PLANE GRID NORTH NAD 83(1986) BASED ON THE CITY OF FAYETTEVILLE CONTROL MONUMENTS USING THEIR PUBLISHED VALUES.



Parcel ID	First Owner Name	Owner Address	Owner City	Owner Stat	Owner Zip
1	760-01423-007 OLD FARMINGTON RD INVESTMENT PARTNERS LLC	PO BOX 1194	FAYETTEVILLE	AR	72702
2	760-01421-000 LACY, DENVER DEAN & TANYA JEAN	PO BOX 198	FARMINGTON	AR	72730
3	760-01422-000 LACY, DENVER DEAN & TANYA JEAN	PO BOX 198	FARMINGTON	AR	72730
4	760-02973-000 DAVIS, WESLEY KYLE	12524 ROSE CEMETERY RD	PRAIRIE GROVE	AR	72753
5	760-02972-001 HASBROUCK FAMILY TRUST	25 S HOLLAND DR	FARMINGTON	AR	72730
6	760-02969-000 BERGER, JEFFREY A	71 S HOLLAND DR	FARMINGTON	AR	72730
7	760-02964-000 ALDERSON, SHARLA K	74 S HOLLAND DR	FARMINGTON	AR	72730
8	001-12117-000 ALDERSON, SHARLA K	74 S HOLLAND DR	FARMINGTON	AR	72730
9	001-12146-000 MAHAN, MARSHALL E & CARIN	122 S HOLLAND DR	FARMINGTON	AR	72730
10	765-16322-200 SHARPRIDGE TRUST	2062 S SMOKEHOUSE TRL	FAYETTEVILLE	AR	72701
11	765-16322-100 SHARPRIDGE TRUST	2062 S SMOKEHOUSE TRL	FAYETTEVILLE	AR	72701
12	001-12156-000 NAIL, DWIGHT & ALICIA	144 S HOLLAND DR	FARMINGTON	AR	72730
13	760-02977-000 LABRA, LORENZO	145 S HOLLAND DR	FARMINGTON	AR	72730
14	760-02978-000 DIFFIN, SARAH L TRUST; SCHOEN, SARAH E TRUST	246 E WOLFDAL RD	FARMINGTON	AR	72730
15	760-02980-000 DIFFIN, SARAH L TRUST; SCHOEN, SARAH E TRUST	246 E WOLFDAL RD	FARMINGTON	AR	72730
16	760-03007-000 SANDERS, JERRY M & GAIL	178 WOLFDAL RD	FARMINGTON	AR	72730
17	760-03004-000 SANDERS, JERRY M & GAIL	178 WOLFDAL RD	FARMINGTON	AR	72730
18	760-02999-000 JONES, JIMMY H	107 S SPRAGUE LN	FARMINGTON	AR	72730
19	760-02975-000 DAVIDSON, JOSIAH & EMILY	100 S SPRAGUE LN	FARMINGTON	AR	72730
20	760-02974-001 MCFATRICH FAMILY TRUST	80 S SPRAGUE LN	FARMINGTON	AR	72730
21	760-01433-220 MCFATRICH FAMILY TRUST	80 S SPRAGUE LN	FARMINGTON	AR	72730
22	760-01284-000 EARY, SHAWN O'NEAL	197 E GLEN ST	FARMINGTON	AR	72730
23	760-01275-000 DIAMOND STATE HOUSING GROUP, LLC	PO BOX 9466	FAYETTEVILLE	AR	72703
24	760-01456-000 PHARRIS, JESSICA SUE	205 E NEAL ST	FARMINGTON	AR	72730
25	760-01703-000 KBRB LLC	PO BOX 9046	FAYETTEVILLE	AR	72703
26	760-01702-000 VENKATA LLC	12571 BELMEADE DR	FRISCO	TX	75035
27	760-01701-000 VENKATA LLC	12571 BELMEADE DR	FRISCO	TX	75035
28	760-01700-000 WILMA PROPERTIES LLC	122 N C" ST"	ROGERS	AR	72756
29	760-01699-000 WILMA PROPERTIES LLC	122 N C" ST"	ROGERS	AR	72756
30	760-01698-000 DANG, YOOM	6309 S 44TH PL	ROGERS	AR	72758
31	760-01697-000 MOORE, WILLIAM PATRICK II & BONNIE MAE	3504 N SANDPIPER DR	FAYETTEVILLE	AR	72704
32	760-01696-000 ALLEN, BRADY	PO BOX 531	PRAIRIE GROVE	AR	72753

33	760-01646-000	HARMON, CRYSTAL	227 E OLD FARMINGTON RD	FARMINGTON	AR	72730
34	760-01750-000	BUSTAMANTE, AGRIPINA V	1200 RANCHO WAY	WOODLAND	CA	95695
35	760-01751-000	SMITH, ADAM TRAVIS & AMY GAIL	232 E OLD FARMINGTON RD	FARMINGTON	AR	72730
36	760-01752-000	CEDAR MOUNTAIN PROPERTIES LLC	13996 COVE CREEK NORTH	PRAIRIE GROVE	AR	72753
37	760-01302-000	PRINCE, FORREST W & GEORGAN DANIELS	197 E TERRY ST	FARMINGTON	AR	72730



## TECHNICAL MEMORANDUM

**To:** Caroline Gardner, PE  
Crafton Tull

**From:** Colton Bryant, PE; Daniela Lopez, PE  
RJN Group

**Date:** February 27, 2025

**Subject:** **Evaluating Wastewater Collection System Hydraulic Capacity for Proposed Old Farmington Road Subdivision**



Crafton Tull retained RJN Group (RJN) to perform a hydraulic capacity analysis of the wastewater collection system downstream of a proposed residential development named Old Farmington Road Subdivision which has requested wastewater collection services from the City of Fayetteville (City). This technical memorandum (TM) documents the hydraulic analysis performed to evaluate the existing capacity of the wastewater collection system downstream of the proposed development and the hydraulic impact the development will have on the collection system. Recommendations were developed to address capacity constraints in the collection system. This analysis was completed using the latest calibrated wastewater collection system model from the City. Construction feasibility and costs were not assessed as part of this analysis.

### Wastewater Flow Estimates

The proposed Old Farmington Road Subdivision is in Farmington, Arkansas, near the northeastern edge of Farmington city limits, south of E Old Farmington Road and west of S Holland Drive, as shown in **Figure 1**. Old Farmington Road Subdivision wastewater flows are assumed to discharge at manhole SSM-8077.

The average dry-weather flow (ADWF) estimates were calculated based on the number of single-family residential (SFR) units provided by Crafton Tull, which is estimated at 100 units. Each unit was assumed to house 3 people and a sewer discharge rate of 100 gallons per capita day (gpcd) was assumed for each person, following City standards.

A diurnal pattern was applied to the ADWF based on the neighboring residential development based on nearby residential properties.

Wet-weather was added using the dynamic hydrology parameters applied to all future developments in the City's hydraulic model, which are based on observed wet-weather contributions from newer developments in the City. The wet-weather event used to evaluate the system was synchronized to

occur during the peak dry-weather flow to simulate the estimated total peak flow contribution to the collections system.

**Table 1** shows the estimated ADWF and peak wet-weather flow (PWWF) for Old Farmington Road Subdivision. The total peak flows below are based on the City's 5-year, 24-hour design storm (5.26 inches). **Figure 2** shows the hydrograph of the estimated projected flows from Old Farmington Road Subdivision.

*Figure 1. Plan View of Study Area*

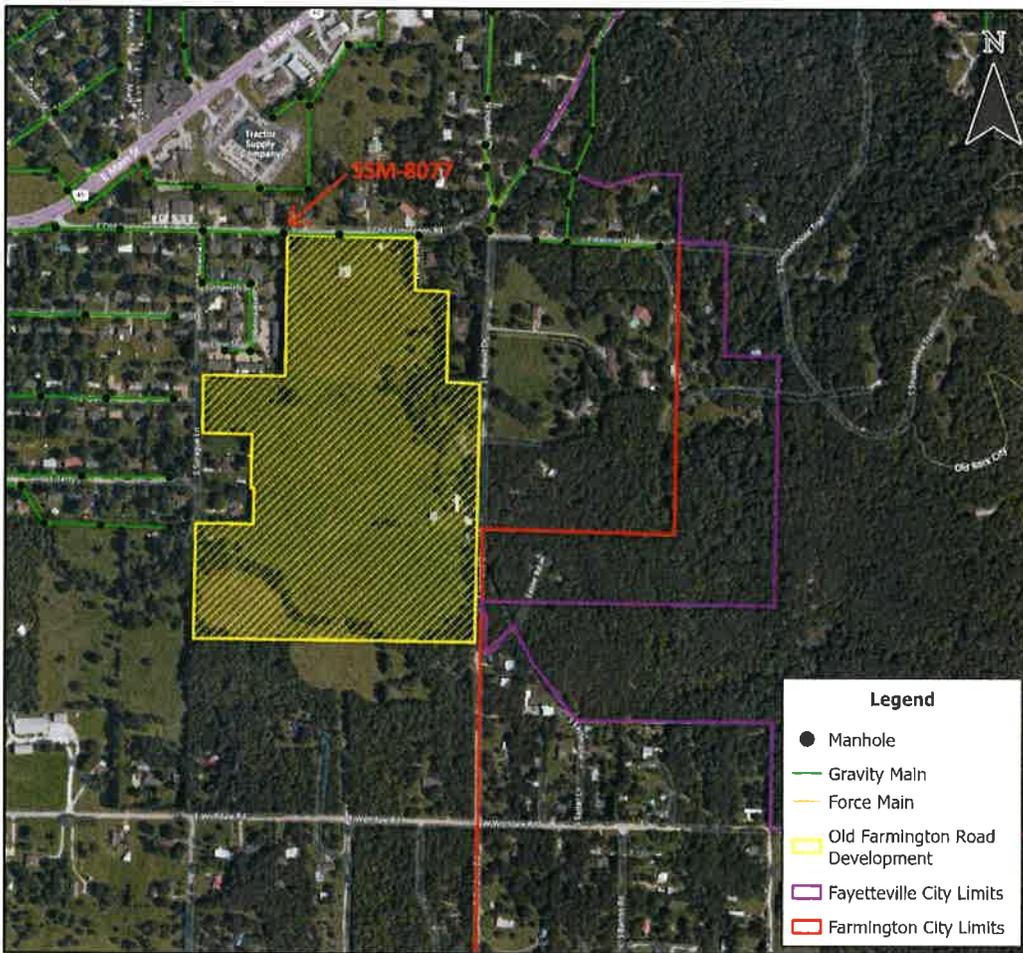
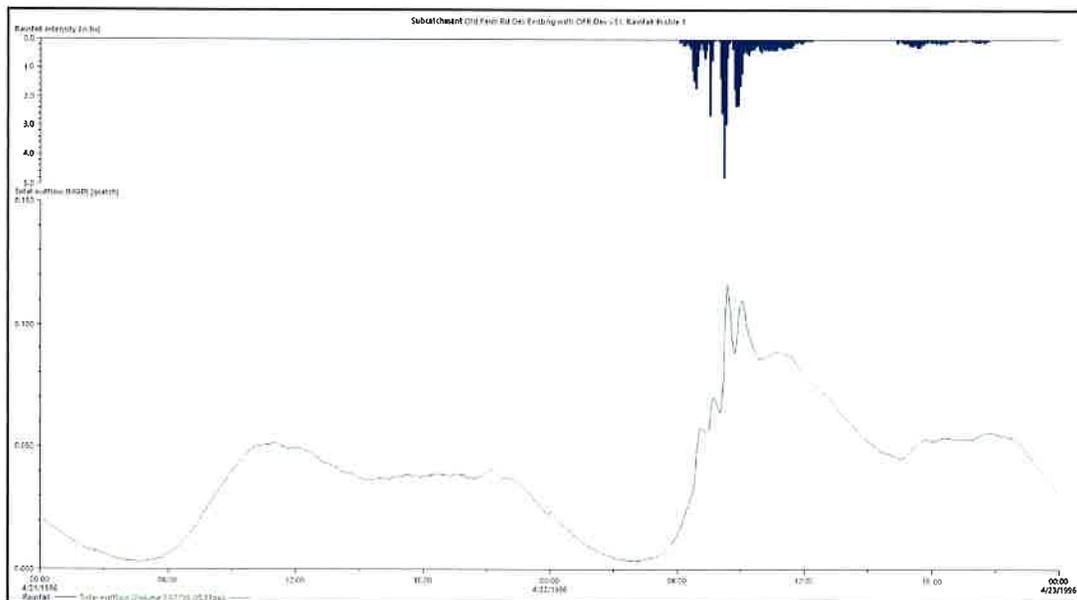




Table 1. Estimated ADWF and PWWF from Old Farmington Road Subdivision

Development	ADWF, gpd	PWWF, gpd
<b>Old Farmington Road Subdivision</b>	30,000	117,000

Figure 2. Hydrograph of Projected Flows During the Design Storm



## Capacity Analysis

The hydraulic analysis was performed using the City's 5-year, 24-hour design storm (5.26 inches). The development was assessed under three different scenarios:

1. Existing Conditions without Old Farmington Road Subdivision
2. Existing Conditions with Old Farmington Road Subdivision
3. Ultimate Development Conditions with Old Farmington Road Subdivision

The capacity of the collection system was evaluated along the following route:

1. West – Starting from SSM-7763 ending at SSM-11641



## Results

To evaluate the capacity of the system, two primary conditions are noted: where pipes lack sufficient capacity to convey the peak flow and where the system surcharges. To compare where pipes lack sufficient capacity, the sewer's full pipe capacity is compared to the predicted PWWF during the 5-year, 24-hour design storm. Surcharging is the condition when the hydraulic grade line, which represents the elevation of the water surface in the sewer, exceeds the crown of the pipe.

The model results from the existing system without Old Farmington Road Subdivision in service predict no capacity restrictions along the evaluated route during the City's design storm.

The model results from the existing system with Old Farmington Road Subdivision in service predict no capacity restrictions along the evaluated route during the City's design storm.

**Figure 3** shows the alignment of the hydraulic profiles shown in Figures 4 through Figure 6. **Figure 4** and **Figure 5** show the hydraulic profile of the evaluated route under existing conditions without and with Old Farmington Road Subdivision, respectively.

Model scenarios were created that evaluated the ultimate development conditions during the 5-year, 24-hour design storm with Old Farmington Road Subdivision in service. The model results from the ultimate development scenario with Old Farmington Road Subdivision in service show surcharging occurring in the downstream 6- and 8-inch gravity main from manhole SSM-7747 to SSM-11634. This is caused by additional flows from assumed future growth areas tying into the nearby sewer system. **Figure 6** shows the hydraulic profile of the evaluated route under ultimate development conditions with Old Farmington Road Subdivision in service.

## Conclusions and Recommendations

The additional flows from Old Farmington Road Subdivision do not cause any surcharging under existing system conditions. However, flows from assumed future growth areas may cause surcharging in the downstream 6- and 8-inch gravity main from manhole SSM-7747 to SSM-11634. No upsizing of gravity main is required as of now, but if continued development occurs in this area, the collection system downstream of the Old Farmington Road Subdivision will need to be re-evaluated.

Figure 3 - The Alignment of the Hydraulic Profiles

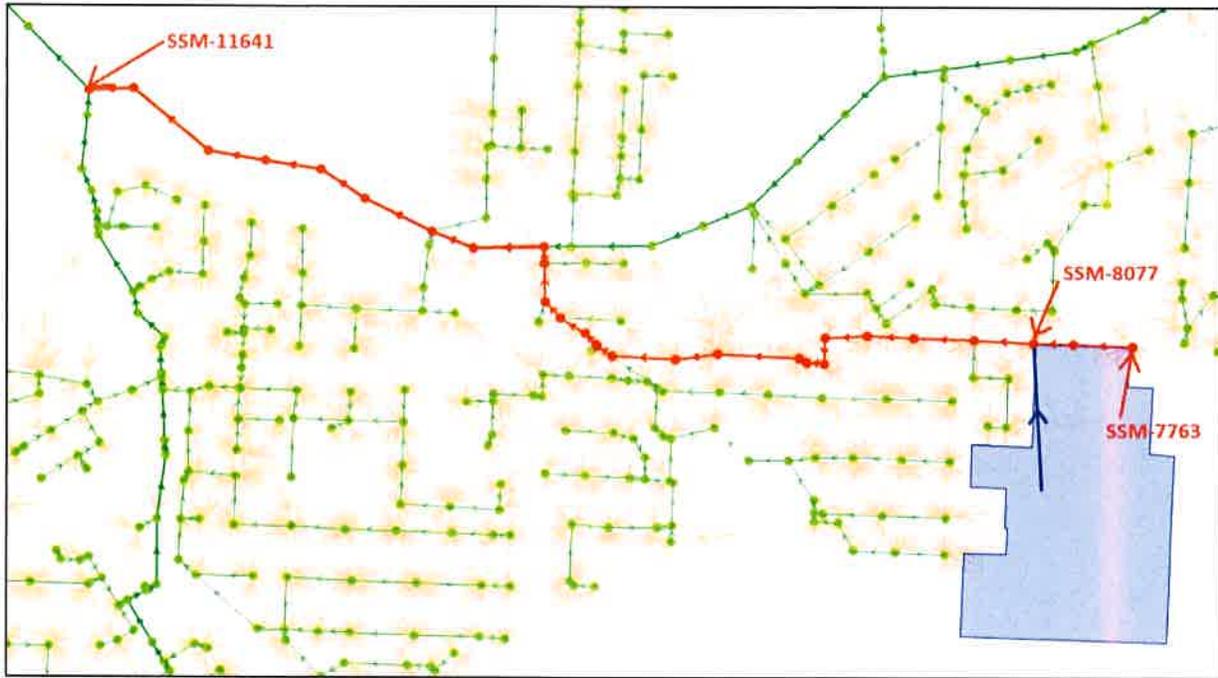
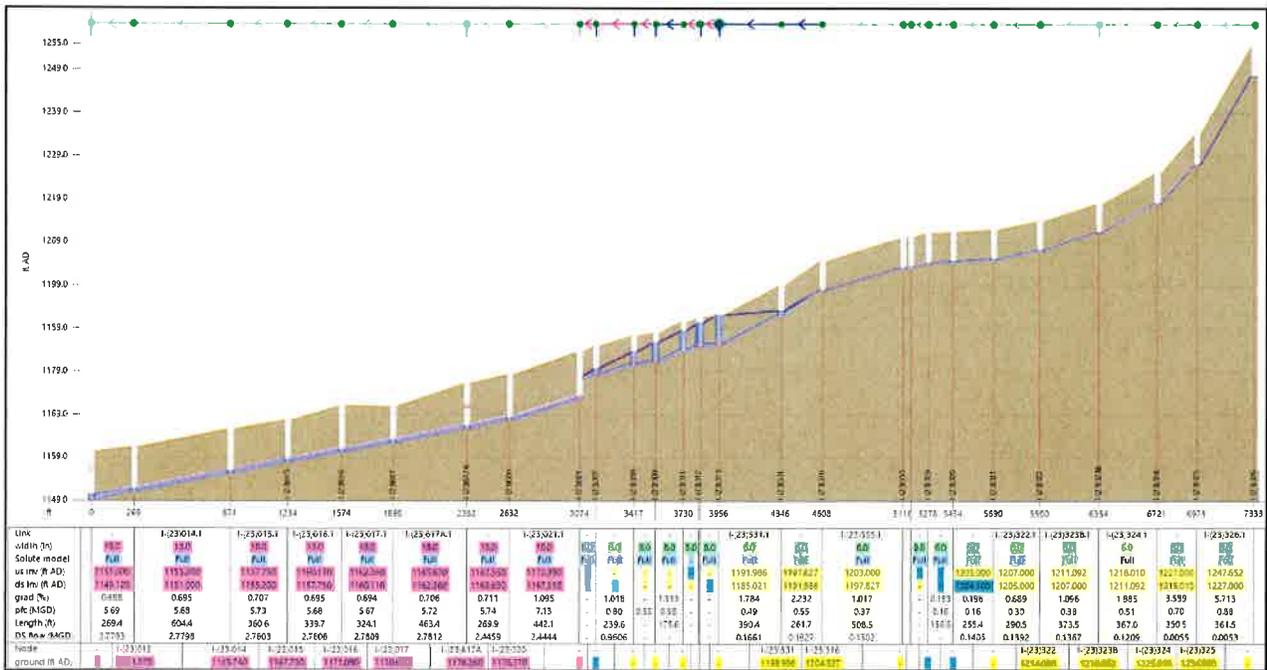








Figure 6: Hydraulic Profile Under Ultimate Development Conditions with Old Farmington Road Subdivision



Date: 3/27/2025

City: FARMINGTON

Subdivision Name: OLD FARMINGTON RD

General Comments:

1. Any relocation of existing facilities or extension of line that has to be built specifically to feed the subdivision will be at full cost to the developer.
2. All lot corners must be marked with stakes clearly identifying the lot number and all utility easement widths and road crossing requirements will be defined on the plat before Ozarks will begin construction.
3. All off site easements that are needed for Ozarks to extend electrical service to the subdivision property must be obtained by developer and easement documentation provided to Ozarks before work begins. On site easements must be shown on plat and recorded with the county.
4. All conduits placed for the road crossings will be installed by the developer and must be 6 inch schedule 40 conduits at 48 inch in depth at final grade and marked with a post to identify the end of conduits. Conduits must extend past the edge of any obstructions so that they are accessible during construction. The number of conduits at the crossing will be determined by each utility provider that will be using the conduits at the road crossing. (Bare minimum of 5 Pipes) **OECC WILL NOT BORE UNDER ROADS THAT HAVE WATER AND SEWER LINES UNDERNEATH. IF BORE IS NECESSARY, THE DEVELOPER IS RESPONSIBLE FOR COVERING THE COST OF "POT HOLING" (A TECHNIQUE USED TO LOCATE AND EXPOSE UNDERGROUND UTILITIES)**
5. Developer must provide Ozarks Electric with a Digital copy (AutoCAD) of the Final plat. All conduits for road crossings and specific widths of U.E., Lot size, St. Light location and address to Lots must be shown on final plat before Ozarks Electric will sign the final plat.
6. Subdivisions will be built using Ozarks Electric Policy 45 (Developer is responsible for a percentage of the total cost of construction which is determined at the time the engineering design for electrical service) There will be extra charges to the Developer when extra time or materials are used for rock trenching, boring, select material bedding, shoring, dewatering, re-sodding, etc.
7. All Utility Easements to be cleared of all trees, brush, dirt piles, buildings, silt fence and debris so that the easement is accessible with equipment. If easement is not cleared developer may be subject to extra charges.
8. Developer must notify Staking Tech. if they are interested in Ozarks Street Lights or if they will be installing their own. If interested in Ozarks Street Light a picture will be provided if asked. Will need St. Light location on final plat. If the developer decides to go with their own contact Cooperative representative below.
9. Please contact Ozarks Electric when construction begins on subdivision and again when construction is within three months of completion.

Wes Mahaffey At (479)263-2167 or [wmahaffey@ozarksecc.com](mailto:wmahaffey@ozarksecc.com)

Additional Comments:

**SEND CAD FILE PLEASE**





Account #: NWC6013981

Company: CRAFTON TULL  
901 N 47TH 400 ST  
ROGERS, AR 72756

Ad number #: 496260

PO #:

Matter of: PH Preliminary Plat 4/28

**AFFIDAVIT • STATE OF ARKANSAS**

I, Maria Hernandez-Lopez, do solemnly swear that I am the Legal Clerk of the **NWA Democrat Gazette**, a daily newspaper printed and published in WASHINGTON/BENTON county, State of ARKANSAS; that I was so related to this publication at and during the publication of the annexed legal advertisement in the matter of :

PH Preliminary Plat 4/28

Pending in the court, in said County, and at the dates of the several publications of said advertisement stated below, and that during said periods and at said dates, said newspaper was printed and had a bona fide circulation in said County, that said newspaper had been regularly printed and published in said county, and had a bona fide circulation therein for the period of one month before the date of the first publication of said advertisement; and that said advertisement was published in the regular daily issues of said newspaper as stated below.

And that there is due or has been paid the **NWA Democrat Gazette** for publication the sum of \$338.96.  
(Includes \$0.00 Affidavit Charge).

*NWA Democrat Gazette 04/13/25; NWA nwaonline.com 04/13/25*

Maria Hernandez-Lopez  
Legal Clerk

State of ARKANSAS, County of Sebastian,  
Subscribed and sworn to before me on this 14th day of April, 2025



D. Brasler  
NOTARY PUBLIC

NOTICE OF PUBLIC HEARING  
A PETITION FOR PRELIMINARY PLAT FOR THE PROPERTY AS DESCRIBED BELOW HAS BEEN FILED WITH THE CITY OF FARMINGTON ON THE MARCH DAY OF 25, 2025

PART OF THE NORTHWEST QUARTER (NW/4) OF THE NW/4 AND PART OF THE SOUTHWEST QUARTER (SW/4) OF THE NW/4 OF SECTION 25, TOWNSHIP 16 NORTH, RANGE 31 WEST, IN THE CITY OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SW/4 OF THE NW/4, A 1/2" REBAR IN SOUTH HOLLAND DRIVE; THENCE ALONG THE EAST LINE OF SAID SW/4 OF THE NW/4 SOUTH 02°07'02" WEST, A DISTANCE OF 532.22 FEET TO A MAGNAIL IN SOUTH HOLLAND DRIVE; THENCE LEAVING SAID EAST LINE NORTH 87°36'01" WEST, A DISTANCE OF 437.88 FEET; THENCE NORTH 87°41'38" WEST, A DISTANCE OF 427.71 FEET TO A 1/2" REBAR; THENCE NORTH 87°33'42" WEST, CROSSING A 1" PIPE AT A DISTANCE OF 439.10 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 439.72 FEET TO A POINT ON A BARBED WIRE FENCE; THENCE ALONG SAID FENCE FOR THE FOLLOWING FIVE (5) CALLS:

- 1) NORTH 02°30'56" EAST, A DISTANCE OF 39.88 FEET;
- 2) NORTH 03°11'28" EAST, A DISTANCE OF 48.50 FEET;
- 3) NORTH 04°39'37" EAST, A DISTANCE OF 5.48 FEET;
- 4) NORTH 02°40'08" EAST, A DISTANCE OF 116.81 FEET;
- 5) NORTH 02°40'52" EAST, A DISTANCE OF 128.86 FEET;

THENCE NORTH 03°38'49" EAST, A DISTANCE OF 190.70 FEET TO AN EXISTING 1" PIPE; THENCE SOUTH 87°36'09" EAST, A DISTANCE OF 250.12 FEET TO A 5/8" REBAR; THENCE NORTH 02°08'06" EAST, A DISTANCE OF 156.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°38'19" WEST, A DISTANCE OF 11.06 FEET TO A 1/2" REBAR; THENCE NORTH 02°13'24" EAST, CROSSING AN EXISTING 5/8" REBAR AT A DISTANCE OF 44.75 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 241.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°35'07" WEST, A DISTANCE OF 222.86 FEET TO A 5/8" REBAR; THENCE SOUTH 01°24'54" WEST, A DISTANCE OF 196.55 FEET; THENCE NORTH 87°26'22" WEST, CROSSING A PLASTIC CAPPED REBAR IN ASPHALT AT A DISTANCE OF 34.76 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 35.15 FEET TO THE WEST LINE OF SAID SECTION 25; THENCE ALONG SAID WEST LINE NORTH 02°20'49" EAST, CROSSING A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005" AT A DISTANCE OF 196.62 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 457.14 FEET TO A POINT ON SAID WEST SECTION LINE AT 0.38 FEET SOUTH OF AN EXISTING MAGNAIL; THENCE LEAVING SAID WEST LINE SOUTH 87°43'40" EAST, A DISTANCE OF 396.00 FEET; THENCE NORTH 02°20'49" EAST, CROSSING THE OCCUPIED SOUTH LINE OF LONGWITH ADDITION PHASE II AT 3.70 FEET WESTERLY FROM THE SOUTHEAST CORNER THEREOF AT A DISTANCE OF 1.39 FEET, ALSO CROSSING THE OCCUPIED SOUTH LINE OF LOT 5 OF SAID ADDITION AT A POINT 2.05 FEET WESTERLY FROM THE SOUTHEAST CORNER OF SAID LOT (AN EXISTING 1/2" REBAR) AT AN ADDITIONAL DISTANCE OF

263.15 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 660.52 FEET TO A POINT AT THE NORTH LINE OF SAID SECTION 25 AT 0.46 FEET EASTERLY FROM AN EXISTING MAGNAIL; THENCE ALONG SAID NORTH LINE SOUTH 87°47'37" EAST, A DISTANCE OF 587.79 FEET TO AN EXISTING MAGNAIL IN EAST OLD FARMINGTON ROAD; THENCE LEAVING SAID NORTH LINE SOUTH 02°28'06" WEST, A DISTANCE OF 249.90 FEET TO A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005"; THENCE SOUTH 87°46'55" EAST, A DISTANCE OF 118.25 FEET TO A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005"; THENCE SOUTH 01°22'51" WEST, A DISTANCE OF 411.99 FEET TO A 5" WOOD FENCE CORNER POST; THENCE NORTH 87°40'35" WEST, A DISTANCE OF 0.20 FEET; THENCE SOUTH 01°52'53" WEST, A DISTANCE OF 429.89 FEET TO A 1/2" REBAR; THENCE SOUTH 87°44'19" EAST, CROSSING AN EXISTING PLASTIC CAPPED 5/8" REBAR EMBOSSED "AR 1756/OK 1857" AT A DISTANCE OF 173.98 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 199.74 FEET; THENCE SOUTH 01°54'14" WEST, A DISTANCE OF 229.55 FEET TO THE POINT OF BEGINNING. CONTAINING 41.59 ACRES MORE OR LESS. SUBJECT TO EAST OLD FARMINGTON ROAD ALONG THE NORTH, SOUTH HOLLAND DRIVE ALONG THE EAST, AND SOUTH SPRAGUE LANE ALONG THE WEST. ALSO SUBJECT ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, UNWRITTEN RIGHTS OR RESTRICTIONS OF RECORD OR FACT.

BASIS OF BEARINGS: ARKANSAS STATE PLANE GRID NORTH NAD 83(1986) BASED ON THE CITY OF FAYETTEVILLE CONTROL MONUMENTS USING THEIR PUBLISHED VALUES.

A PUBLIC HEARING TO CONSIDER THIS PRELIMINARY PLAT WILL BE HELD ON THE APRIL DAY OF 28, 2025, AT SIX O'CLOCK P.M. AT FARMINGTON CITY HALL, 354 WEST MAIN, FARMINGTON, ARKANSAS. ALL INTERESTED PERSONS ARE INVITED TO ATTEND.

April 13, 2025 496260

All documents for mailings were provided.

**CITY OF FARMINGTON  
TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: KD Real Estate Investments, LLC

Date: April 1, 2025

Project Name: Old Farmington Rd Subdivision Preliminary Plat

Engineer/Architect: Crafton Tull Associates, Inc.

---

Following are **recommendations** from the Technical Plat Review Committee which **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12:00 noon** the following Tuesday from the date above in order for the item to be placed on the agenda for the Commission meeting. A **narrative** addressing each comment must be submitted along with the revised plat.

---

Representing: KMS/City of Farmington

Name: Christopher B. Brackett, P. E.

1. Note that the instructions above say that the technical plat comments must be addressed prior to re-submission, and that a narrative for each comment must also be submitted along with the revised plat.
2. Along with the hard copies required for the City, one digital copy of everything included in the submission shall be emailed to KMS at [chris@kms-engr.com](mailto:chris@kms-engr.com).
3. Provide approval of the stream relocation from the Corp of Engineers. Give an update on this approval if it hasn't been given yet.
4. The preliminary plat states that there are 5 unbuildable lots and 104 buildable lots. But the plan only shows 3 unbuildable lots and 106 buildable lots. The drainage report also states that there are 106 buildable lots.
5. The preliminary drainage plan needs to be shown as per the Preliminary Plat Checklist.
6. Show how the detention ponds will be accessed to be maintained. Why is the western pond on two lots?
7. There is a 20' horizontal and 2' vertical building setback from the maximum ponding elevation of the dry detention pond. All the adjacent lots will be required to have a minimum finished floor shown on the final plat.
8. Add Street Lights at 300' spacing and at intersections to the plat.
9. Add the handicap ramps to all intersections. The tee intersections will require handicap access across two of the legs of the intersection.
10. You need to clearly label the existing widths of the pavement and right-of-way of the adjacent streets. You need to clearly label any additional right-of-way for these streets to meet the MSP. You need to clearly label the widening proposed for these streets.
11. Show the lot dimensions on the enlarged preliminary plat drawings since they are not legible on the overall plat.
12. The GIS shows the right-of-way of Sprague Lane extending to Lot 22. Please verify.
13. Add concrete trickle channels to the swales and any dry detention ponds. The pond bottoms are shown to be flat. Add slope to the bottom of the pond to the outlet structure so they drain completely.
14. Drainage Report:

- a. Your drainage letter should include a description of any known onsite or downstream drainage/flooding problems. See item #10 on the drainage report checklist.
- b. The sheet flow for the predevelopment areas is 300' unless it is intercepted by a defined channel. The post development has a maximum of 100'.
- c. Add more detail for the runoff coefficient calculations that indicates the cover and soil type used.

Received By: \_\_\_\_\_

---

**CITY OF FARMINGTON  
TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: Crafton Tull

Date: 4/1/2025

Project Name: Old Farmington Road Subdivision

Engineer/Architect: Crafton Tull

---

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

---

Representing: City of Farmington Name: Melissa McCarville

1. Engineering fees will accumulate as the development continues. We are billing the engineering fees monthly.
2. Adjacent property owners must be notified by certified mail; receipts should be submitted by one week prior to the Planning Commission meeting.
3. An advertisement regarding the development should be in the paper no later than 15 days prior to the planning commission meeting. Proof of publication must be provided when it is available. The Democrat Gazette only publishes legal notices on Sunday and the Washington County Enterprise Leader is published on Wednesday. **With this in mind, the ad has to be in the paper by Sunday, April 13, 2025, to meet the deadline.**
5. Please submit a revised plan by next Tuesday. The City requires 15 copies for planning commission. Plans must be folded with all sheets included in one set. We don't need all the detail for planning commission, a site plan and landscape plan would probably be sufficient. If I can also get a PDF version that can be distributed to the public and added to Facebook and our website that would be great.
6. A revised copy of the plan and drainage plan should be delivered to City Hall for Chris Brackett; he will also accept digital copies.
7. Planning Commission meeting will be **Monday April 28, 2025, at 6:00 pm.**



**Fire Department**  
 City of Farmington, AR  
 372 W. Main St.  
 Farmington, AR 72730  
 479-267-3338



Date: 4/1/25

William Hellard

Fire Chief

Farmington Fire Department

372 W Main St. Farmington, AR, 72730

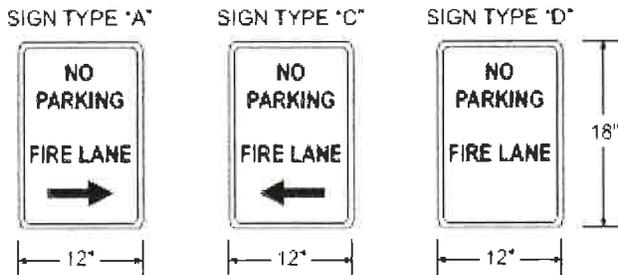
Subject: Old Farmington Road

**Fire Lane Signage**

Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide (6096 to 7925 mm).

**D103.6.2 Roads More Than 26 Feet in Width**

Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm).

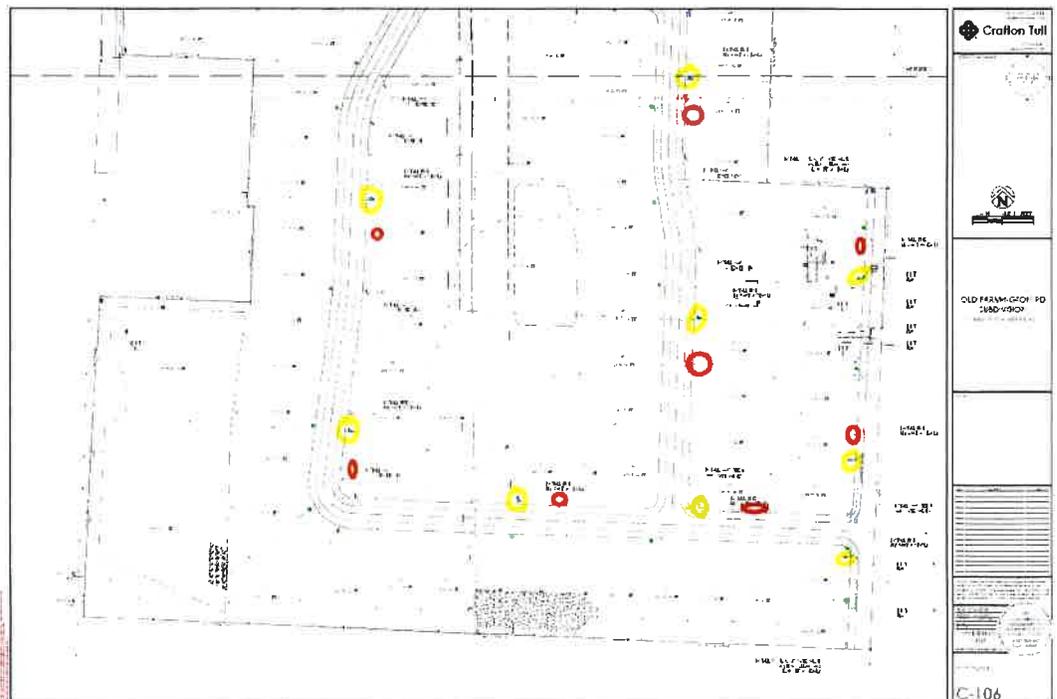
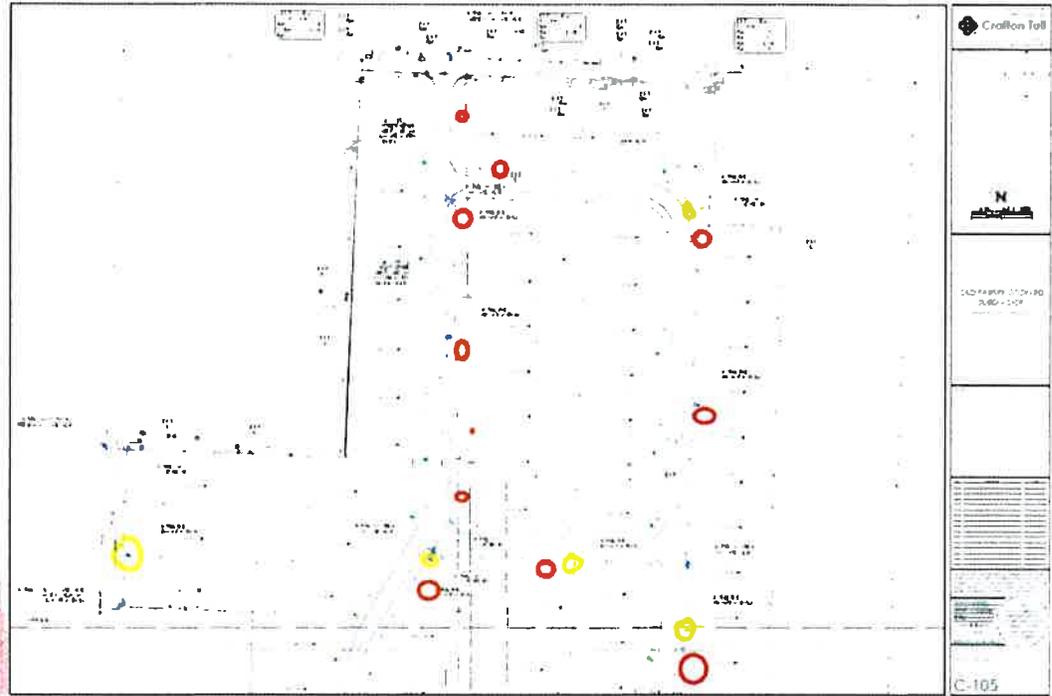




**Fire Department**  
City of Farmington, AR  
372 W. Main St.  
Farmington, AR 72730  
479-267-3338



No Parking Signs





**Earthplan Design Alternatives, PA**  
Civil Engineering / Landscape Architecture

**TECH PLAT REVIEW LETTER**

**Project: Old Farmington Rd Subdivision Preliminary Plat**  
**EDA project #: 2605\_F**  
**Letter creation: April 1, 2025**  
**Tech Plat Review meeting: April 1, 2025**

Mrs. McCarville,

We have reviewed the Preliminary Plat submitted by Crafton Tull for the project known as Old Farmington Rd Subdivision Preliminary Plat received by EDA on March 26, 2025. The date in the title block's title block is 3/25/25. Based on our review of the City's landscape code, we offer the following comments:

**Generally:**

1. Dedication and Landscaping of Neighborhood Parks (code Sec. 14.04.25):
  - a. Per 14.04.25, H, 2, the City is requesting Fee Payment in Lieu of Land Conveyance:  
*"In lieu of land dedication, developer shall contribute to the Farmington's Parkland Fund \$900 for each single-family dwelling unit..."*

* 106 single family units	\$900/unit=	\$95,400.00
=		
		\$95,400.00 TOTAL fee payment required

*\*Sheet C-101, under Residential Density, states that there are 5 unbuildable lots. However, the preliminary plat appears to show only 3 as being unbuildable. If 5 are unbuildable, please respond to this letter (upon resubmittal) with the lot numbers that are unbuildable).*

- b. Per 14.04.25 K, 1, b: *"The fee-in-lieu shall be paid prior to the City's signature and release of the Final Plat or development plan."*
- c. If a subdivision sign and plantings are installed for this subdivision, submit plans showing said elements to EDA for review.

If you have any questions, please do not hesitate to contact EDA.

*Please note that this review was for general compliance and does not warrant the work or documents submitted by the applicant and engineer; nor does it relieve the owner from any items discovered during design or construction which are deemed necessary to comply with City ordinances and criteria.*

Sincerely,

Sarah Geurtz, PLA

**CITY OF FARMINGTON  
TECHNICAL PLAT REVIEW COMMITTEE REPORT**

Applicant: Crafton Tull      Date: 4/1/25

Project Name: Old Farmington Road Subdivision

Engineer/Architect: Crafton Tull

---

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above in order for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

---

Representing: City of Fayetteville      Name: Justin Bland

1. It is likely that two water connections to independent 6" lines will be required to maintain system pressure. It looks like the proposed design is effectively on a dead end 6" line. Please provide analysis of this with recommendations.

2. Provide downstream sewer capacity analysis.

3. Note that water and sewer must maintain 10' horizontal separation.

4. Project must meet the 2022 Edition of the City of Fayetteville's Standard Specifications for Design and Construction Water Lines and Sewer Lines

Received By: \_\_\_\_\_

---