DOMINO'S PIZZA FARMINGTON, ÅRKANSAS

GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- 3. EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- 4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS
- 5. PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- 6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN
- 7. CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- 8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- 9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 10. CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION
- 11. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- 12. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE. 13. THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF FARMINGTON'S WATER
- AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
- 14. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF FARMINGTON'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- 15. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

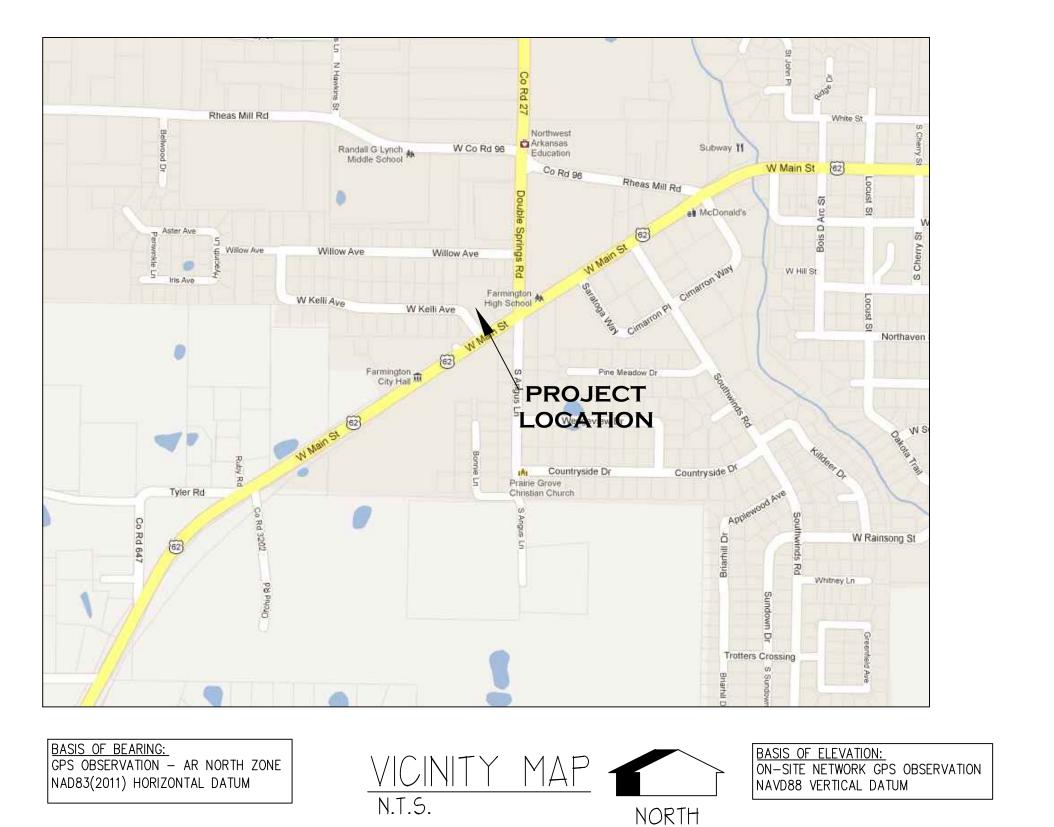
THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, OR NEAR THE CONSTRUCTION SITE.



ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

SITE CONSTRUCTION PLANS

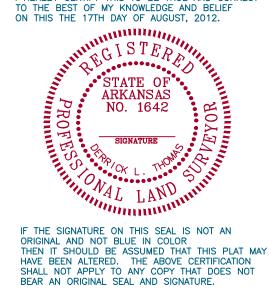


SURVEY DESCRIPTION:

A PART OF THE WEST HALF OF SECTION 27, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 AND RUNNING THENCE THENCE NO2°03'19"E 163.78', THENCE S84*41'44"W 140.29', THENCE S59*17'18"W 114.28', THENCE S30*42'08"E 197.61', THENCE S58°29'32"W 60.01' TO A POINT ON THE NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #62 AND THE TRUE POINT OF BEGINNING AND THENCE ALONG SAID RIGHT-OF-WAY S58°29'32"W 76.89' TO THE EASTERN LINE OF RED BIRD ESTATES, THENCE ALONG SAID EASTERN LINE N34°38'22"W 203.55', THENCE LEAVING SAID EASTERN LINE N59°17'18"E 90.86', THENCE S30°42'08"W 202.00' TO THE POINT OF BEGINNING, CONTAINING 0.39 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

CONTACT INFORMATION

	MELISSA MCCARVILLE CITY BUSINESS MANAGER 354 WEST MAIN FARMINGTON, AR 72730 PHONE: (479)267–3865	WATER & SEWER:	CITY OF FAYETTEVILLE TIM NYANDER, P.E. 125 W. MOUNTAIN AVE. FAYETTEVILLE, AR 72701 PHONE: (479) 575–8206
	FAX: (479)267-3805	GAS:	SOURCE GAS 655 E. MILLSAP RD.
PUBLIC WORKS:	DAN LEDBETTER PUBLIC WORKS DIRECTOR 354 WEST MAIN	PHONE:	FAYETTEVILLE, AR 72701 (800)563–0012
	FARMINGTON, AR 72730 PHONE: (479)267–3865 FAX: (479)267–3805	ELECTRIC:	AEP SWEPCO NANCY GUISINGER FAYETTEVILLE DISTRICT
FIRE DEPT:	MARK CUNNINGHAM FIRE CHIEF		PHONE:(479) 973-2351
	372 WEST MAIN P.O. BOX 150 FARMINGTON, AR 72730 PHONE: (479)267-3338	WASTE:	WASTE MANAGEMENT SYSTEMS 11979 ARBOR ACRES RD FAYETTEVILLE, AR 72701 PHONE: (800)443-5558
	FAX: (479)267-3302	TELEPHONE:	PRAIRIE GROVE TELEPHONE CO 139 MOCK ST
		PHONE:	PRAIRIE GROVE, AR 72753 (479)267–7200



HEREBY CERTIFY THIS TO

VARIANCES TO BE REQUESTED .) SEC. 14.04.20 LANDSCAPED SIDE & BACK PÉRIMETER BUFFER REQUIREMENTS

2.) SEC.14.04.21 LANDSCAPING REQUIREMENTS IMMEDIATELY ADJACENT TO BUILDING(S) FRONT

ZONING REGULATIONS C-2(HIGHWAY COMMERCIAL)

MIN LAND	SQ.FT.	N/A
MIN LAND	AREA SQ.FT./D.U.	N/A
LOT FRON	TAGE:	50 F
CORNER L	OT:	35 F
LOT COVEF	RAGE:	60%
HEIGHT RE	QUIREMENTS:	40 F

<u>SETBACKS:</u> 50 FEET IFRONT: 25 FEET

SIDE:

RFAR: 20 FEET **STREET SIDE SETBACKS ADJACENT TO RESIDENTIAL ZONES WILL BE 15 FEET

GREENSPACE CALCULATIONS:

GROSS AREA OF SITE: 72666.86 IMPERVIOUS AREA: 21492.86(30.2%) GREENSPACE: 21942.86(69.8%)

PARKING CALCULATIONS USE: DRIVE THROUGH RESTAURANT(COMMERCIAL) 1 SPACE PER 300 SQ.FT. OF FLOOR AREA

SQ.FT. FLOOR AREA: 2070 SQ.FT. CALCULATION: 2070/300=6.9(7)STANDARD PARKING REQUIRED: 7 SPACES

STANDARD PARKING PROVIDED: 18 SPACES ADA SPACES REQ. /PRO.: 1 SPACE

TOTAL PARKING PROVIDED: 19 SPACES



INDEX OF DRAWINGS COVER SHEET EXISTING SITE + DEMO PLAN 02 SITE PLAN 03 UTILITY PLAN $\bigcirc 4$ GRADING, DRAINAGE, + 05EROSION CONTROL PLAN LANDSCAPE PLAN 06

DETAILS

760-01618-000

PROJECT SITE ADDRESS: ARKANSAS HIGHWAY 62 & W KELLI AVE

ZONING CLASSIFICATION: C-2 HIGHWAY COMMERCIAL

FARMINGTON, ARKANSAS

DELIVERY/DRIVE-THRU RESTAURANT

A & M PIZZA REAL ESTATE, LLC

C/O ART HURTEAU

BATTLEFIELD, MO

4042 W REPUBLIC RD

PHONE: (417) 353-1726

BATES & ASSOCIATES, INC.

FAYETTEVILLE, AR 72704

PHONE: (479) 442-9350

FAX: (479) 521-9350

7230 S. PLEASANT RIDGE DR.

E TRUE AND CORRECT
E TRUE AND CORRECT DGE AND BELIEF UGUST, 2012.
OF AS 42
C. P. P. S.
ND MUMMMMMMM SEAL IS NOT AN COLOR
ED THAT THIS PLAT MAY

07-08

PARCEL NUMBERS:

PROPOSED USE:

OWNER/DEVELOPER:

ENGINEER/SURVEYOR:



FEET FEET ΜΑΧ FEET MAX

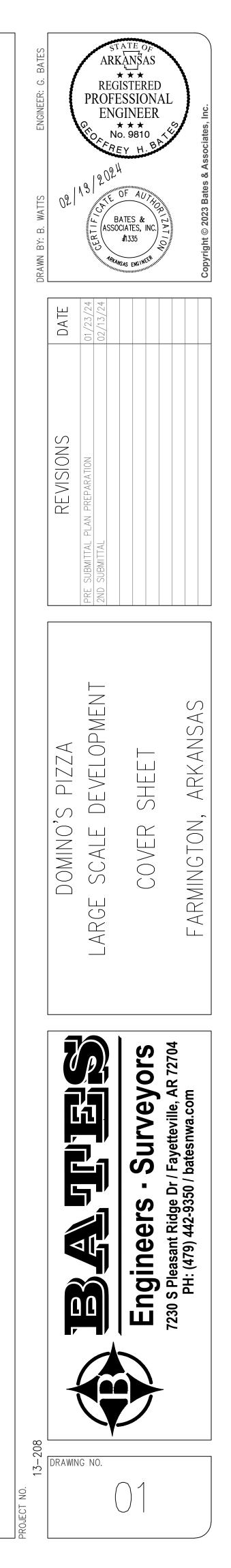


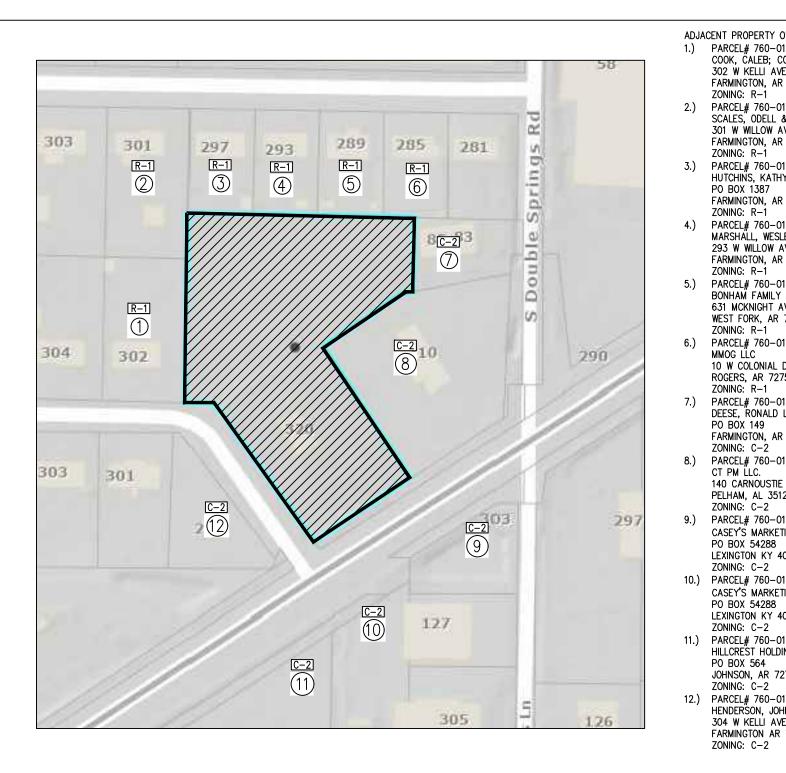
CITY NOTES: REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION. FLOOD CERTIFICATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS. (FIRM PANEL #05143C0195F. MAY 16, 2008)

GENERAL SURVEY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.





	LEGEND	
PROPOSED	EXISTING	DESCRIPTION
		ACCESS EASEMENT
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
	0	BOLLARD
		BUILDING
	· · · ·	BUILDING SETBACK LI
	uetv	CABLE TV (UNDERGRO
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
		CONTOURS
		CURB & GUTTER
	ā)	DRAINAGE FLOW
		UTILITY EASEMENT
		ELECTRICAL (UNDERG
		ELECT. TRANSFORMER
		EROSION CONTROL FE
		EROSION CONTROL RI
	xx	FENCE (EX. WIRE/PR.
		FIBER OPTIC CABLE
	X	FIRE HYDRANT ASSEM
	-+-+-+-	FLOWLINE
		FORCE MAIN
	GAS GAS	GAS MAIN
	▲ 徴	GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
0	•	IRON PIN - (RE-BAR
	\$	LIGHT
		POND
	<u> </u>	POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MAN SANITARY SEWER PIPI
		SANITART SEWER PIPI
		SECTION/TIE LINE
		SIDEWALK
	(\$TOP)	SIGN
	#FFE=1320	SPOT ELEVATION
	W 117	STABILIZED CONSTRUC
	9	STORM SEWER INLET
		STORM SEWER PIPE
		STRIPE (PAINTED OR
	$\overline{\mathbb{O}}$	TELEPHONE PED/MAN
		TELEPHONE (UNDERG
	mun	TREE LINE CANOPY
	O X	TREE/TREE TO BE RE
	X	WATER MAIN BLOWOFF
	•	WATER MAIN FIRE DEF
		WATER MAIN PIPE
		WATER MAIN REDUCER
	▶	WATER MAIN THRUST
		WATER METER
		WATER METER (IRRIGA
	🖄	WATER VALVE

PROPERTY ZONED: C-2

C-2 BUILDING SETBACKS:FRONT50ftSIDE25ft*REAR20ft

*SIDE ADJACENT TO RESIDENTIAL 15ft

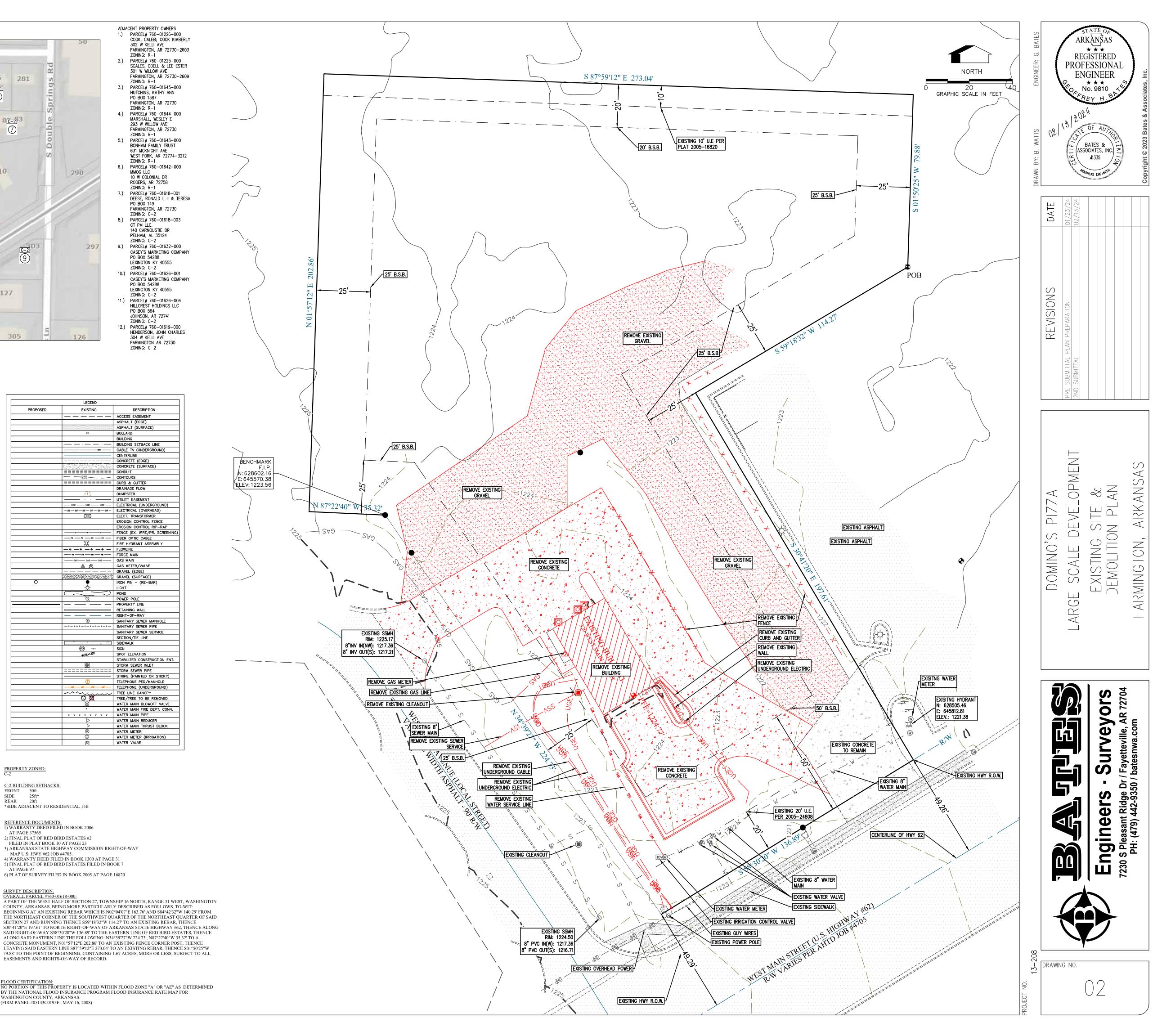
REFERENCE DOCUMENTS: 1) WARRANTY DEED FILED IN BOOK 2006

- AT PAGE 37565 2) FINAL PLAT OF RED BIRD ESTATES #2 FILED IN PLAT BOOK 10 AT PAGE 23
- 3) ARKANSAS STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP U.S. HWY #62 JOB #4705.
 4) WARRANTY DEED FILED IN BOOK 1300 AT PAGE 31
 5) FINAL PLAT OF RED BIRD ESTATES FILED IN BOOK 7 AT PAGE 07
- AT PAGE 97 6) PLAT OF SURVEY FILED IN BOOK 2005 AT PAGE 16820

COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING REBAR WHICH IS N02°04'07"E 163.76' AND S84°42'32"W 140.29' FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 AND RUNNING THENCE S59°18'32"W 114.27' TO AN EXISTING REBAR, THENCE S30°41'20"E 197.61' TO NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #62, THENCE ALONG SAID RIGHT-OF-WAY S58°30'20"W 136.89' TO THE EASTERN LINE OF RED BIRD ESTATES, THENCE ALONG SAID EASTERN LINE THE FOLLOWING: N34°39'27"W 224.73', N87°22'40"W 35.32' TO A CONCRETE MONUMENT, N01°57'12"E 202.86' TO AN EXISTING FENCE CORNER POST, THENCE LEAVING SAID EASTERN LINE S87°59'12"E 273.04' TO AN EXISTING REBAR, THENCE S01°50'25"W 79.88' TO THE POINT OF BEGINNING, CONTAINING 1.67 ACRES, MORE OR LESS. SUBJECT TO ALL

FLOOD CERTIFICATION: NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS. (FIRM PANEL #05143C0195F. MAY 16, 2008)

EASEMENTS AND RIGHTS-OF-WAY OF RECORD.





ZONING REGULATIONS C-2(HIGHWAY COMMERCIAL)

	ZONING REGULATIONS C-		WAT COMMILINGIAL
	MIN LAND SQ.FT. MIN LAND AREA SQ.FT./I LOT FRONTAGE: CORNER LOT: LOT COVERAGE: HEIGHT REQUIREMENTS:).U. I	N/A N/A 50 FEET 35 FEET 60% MAX 40 FEET MAX
	<u>SETBACKS:</u> FRONT: 50 FE SIDE: 25 FE REAR: 20 FE **STREET SIDE SETBACKS TO RESIDENTIAL ZONES V	s adjac	
	GREENSPACE CALCULATIO	<u>)NS:</u>	
	GROSS AREA OF SITE: IMPERVIOUS AREA: GREENSPACE:	72666. 21492. 21942.	86 86(30.2%) 86(69.8%)
	<u>PARKING CALCULATIONS:</u> USE: DRIVE THROUGH RI	ESTAUR	ANT(COMMERCIAL)
	1 SPACE PER 300 SQ.FT	. OF FL	OOR AREA
	SQ.FT. FLOOR AREA: CALCULATION: STANDARD PARKING REQ STANDARD PARKING PRO ADA SPACES REQ./PRO.:	UIRED: VIDED:	7 SPACES
	TOTAL PARKING PROVIDE	D:	19 SPACES
NG N	IOTES:		
ew to our co on or anco rova not ineer for of re- ubmi	by the Engineering Division wa design and does not relieve the further review, which are de d criteria. I of the Engineering items on a guarantee of approval of the of record shall provide "Full the storm drainage and road cord shall also review and applitted to the City for concurre ports should be submitted to the	the owner emed new this proje Time"ins way cons prove ma nce befor	from any items discov cessary to comply with as for water, sewer, dri- ect by other City division pection for utilities and truction for this project iterial submittals (appro- re material is ordered)
se o [.] dic w n of	and construction shall comp f conflicts, the City's criteria vorks inspector shall be notific public utilities, infrastructure,	shall gov ed no les	vern. ss than 48 hours prior

EXISTING PROPOSED DESCRIPTION — AE — AE — ASPHALT (EDGE) ASPHALT (SURFACE) BOLLARD BUILDING BUILDING SETBACK LINE CABLE TV (UNDERGROUND) CENTERLINE CONCRETE (EDGE) CONCRETE (SURFACE) CONTOURS CURB & GUTTER DRAINAGE FLOW DUMPSTER ____ UE ____ UE ___ UTILITY EASEMENT ELECTRICAL (UNDERGROUND) ELECTRICAL (OVERHEAD) _____t ELECT. TRANSFORMER EROSION CONTROL FENCE EROSION CONTROL RIP-RAP FENCE (EX. WIRE/PR. SCREENING FIBER OPTIC CABLE FIRE HYDRANT ASSEMBL FORCE MAIN AS MAIN GAS METER/VALVE GRAVEL (EDGE) GRAVEL (SURFACE) IRON PIN - (RE-BAR) POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT-OF-WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK ------SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN BLOWOFF VALVE WATER MAIN FIRE DEPT. CON - ¥-WATER MAIN PIPE WATER MAIN REDUCER WATER MAIN THRUST BLOCK WATER METER WATER METER (IRRIGATION) WATER VALVE

ENGINEERIN

o The revie does not overed during warrant you construction n City ordinances

o The appro rainage, and grading is ions. and "Part Time" o The engir ject. The inspection engineer o roved submittals shall be su – weekly works inspection inspector.

o All mater e's requirements. In the case o The public r to the

installation coordinated with the PWI by the Engineer of Record. o A copy of the approval letter from ADH shall be presented prior to installation of public utilities.

Prior to obtaining obtaining water service, the following items must be performed or provided to the satisfaction of the Engineering Department:

o The work shown on the civil site package must be complete and the items on the final punch list completed.

o Vegetation must be established and perimeter controls removed.

and City of Fayetteville requirements.

o One (1) set of as—built drawings of the complete project (excluding details) as a hard copy and in Tiff or PDF format; o Public infrastructure and services shall be surveyed after installation in relation to

easements, property lines, and rights—of—way. o Professional surveyor shall provide stamp drawings specifically identifying the limits of

as-built survey performed. o More than 2 ft deviation of design alignment shall require new easement dedication or

adjustment of the utility/storm drain. o Unit price construction costs and a single 2 year maintenance bonds in the amount of 25% of the public improvements have been provided to the city; o Certification that the, water, and sewer lines, etc., were installed per approved plans

4. CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.

ADJACENT PROPERTY OWNERS 1.) PARCEL# 760-01226-000 COOK, CALEB; COOK KIMBERLY 302 W KELLI AVE FARMINGTON, AR 72730-2603

ZONING: R-1 PARCEL# 760-01225-000 2.) SCALES, ODELL & LEE ESTER 301 W WILLOW AVE FARMINGTON, AR 72730-2609 ZONING: R-1 PARCEL# 760-01645-000 3.` HUTCHINS, KATHY ANN

PO BOX 1387 FARMINGTON, AR 72730 ZONING: R-1 4.) PARCEL# 760-01644-000 MARSHALL, WESLEY E 293 W WILLOW AVE

FARMINGTON, AR 72730 ZONING: R-1 PARCEL# 760-01643-000 5.` BONHAM FAMILY TRUST 631 MCKNIGHT AVE WEST FORK, AR 72774-3212 ZONING: R-1

6.) PARCEL# 760-01642-000 MMOG LLC 10 W COLONIAL DR ROGERS, AR 72758 ZONING: R-1 PARCEL# 760-01618-001

DEESE, RONALD L II & TERESA PO BOX 149 FARMINGTON, AR 72730 ZONING: C-2 PARCEL# 760-01618-003 8.) CT PM ĽLC.

140 CARNOUSTIE DR PELHAM, AL 35124 ZONING: C-2 PARCEL# 760-01632-000 CASEY'S MARKETING COMPANY PO BOX 54288

9.`

LEGEND

LEXINGTON KY 40555 ZONING: C-2 10.) PARCEL# 760-01626-001 CASEY'S MARKETING COMPANY PO BOX 54288 LEXINGTON KY 40555

ZONING: C-2 11.) PARCEL# 760-01626-004 HILLCREST HOLDINGS LLC PO BOX 564 JOHNSON, AR 72741 ZONING: C-2 12.) PARCEL# 760-01619-000

HENDERSON, JOHN CHARLES 304 W KELLI AVE FARMINGTON AR 72730 ZONING: C-2

ADA NOTES:

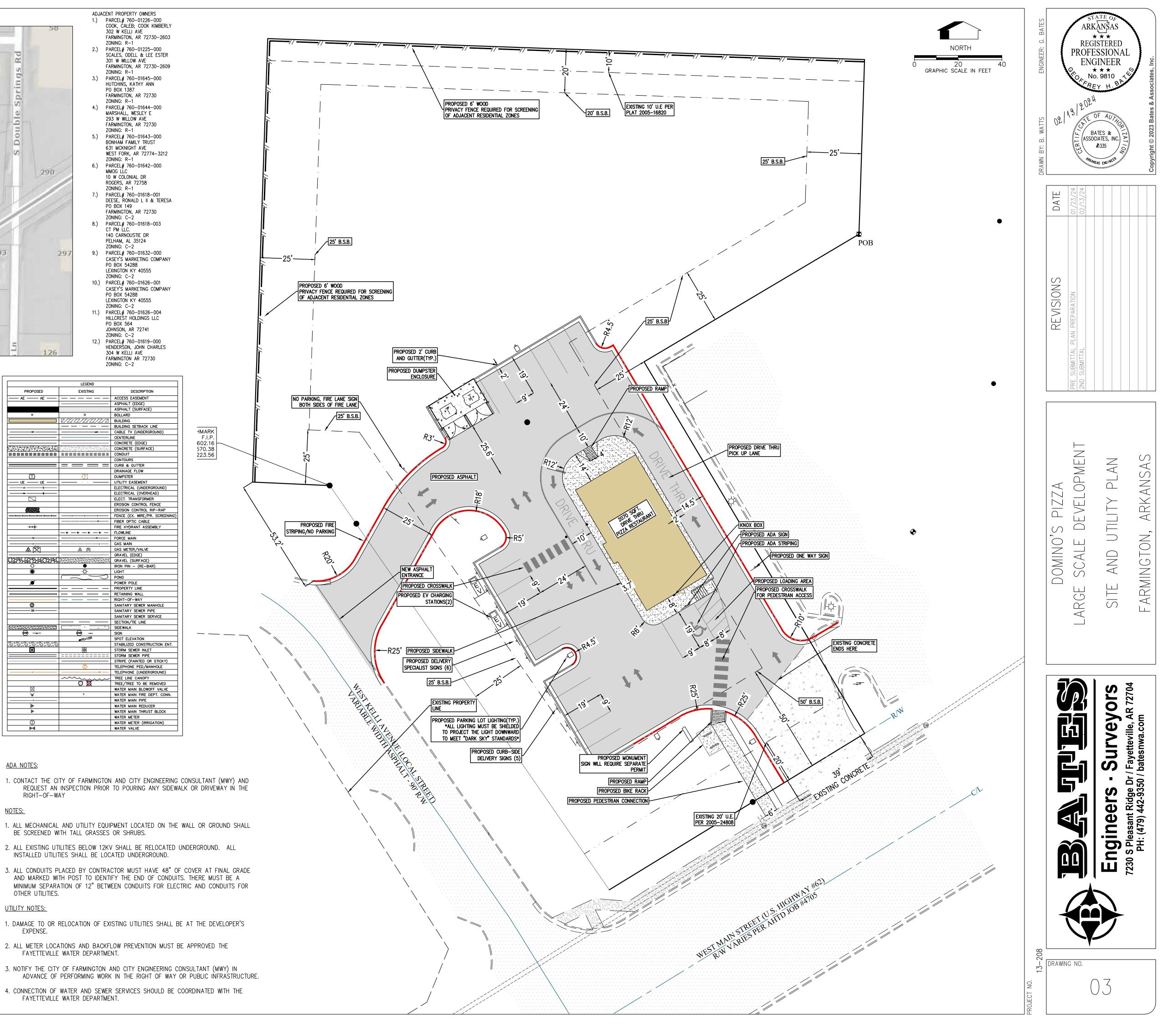
1. CONTACT THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) AND REQUEST AN INSPECTION PRIOR TO POURING ANY SIDEWALK OR DRIVEWAY IN THE RIGHT-OF-WAY

NOTES:

- 1. ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.
- 2. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.
- 3. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

<u>UTILITY NOTES:</u>

- 1. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- 2. ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED THE FAYETTEVILLE WATER DEPARTMENT.



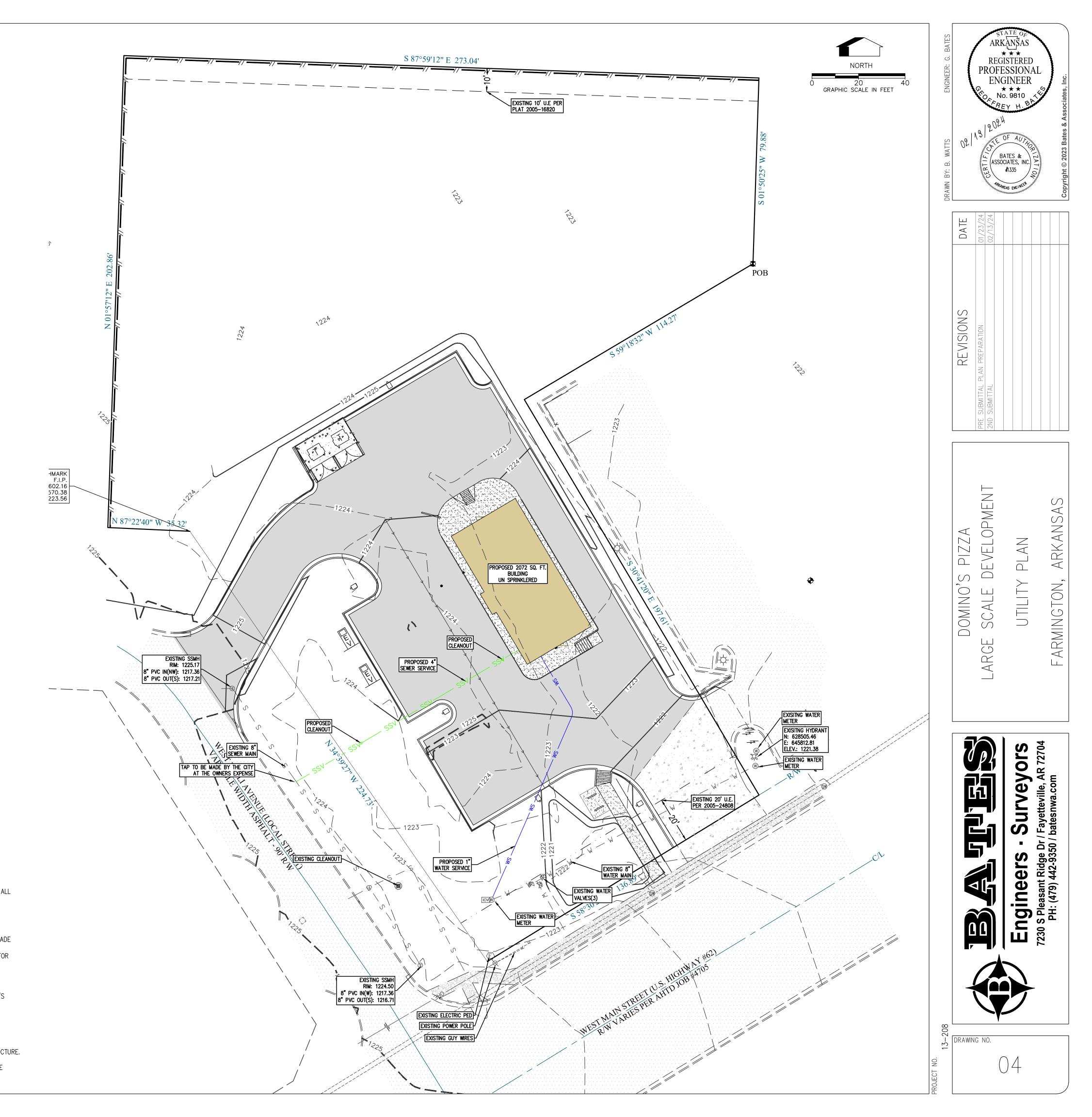
	LEGEND	
PROPOSED	EXISTING	DESCRIPTION
AE AE		ACCESS EASEMENT
		ACCESS EASEMENT ASPHALT (EDGE)
		ASPHALT (LUGE)
0	0	BOLLARD
		BUILDING
		BUILDING SETBACK LINE
	uatv	CABLE TV (UNDERGROUND)
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
1255	<u> </u>	CONTOURS
	= = = =	CURB & GUTTER
		DRAINAGE FLOW
(T)	71) 71	DUMPSTER
		UTILITY EASEMENT
		ELECTRICAL (UNDERGROUND)
axt		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL FENCE
		EROSION CONTROL RIP-RAP
	xx	FENCE (EX. WIRE/PR. SCREENING)
		FIBER OPTIC CABLE
->+++-	¥.	FIRE HYDRANT ASSEMBLY
	- + - + - + - + + + + - +	FLOWLINE
	<u> </u>	FORCE MAIN
	0	GAS MAIN
	<u></u>	GAS METER/VALVE
		GRAVEL (EDGE)
849074000A02078		GRAVEL (SURFACE)
		IRON PIN – (RE–BAR)
*	<u> </u>	LIGHT
~	()	POND
, <u> </u>	Q	POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
<u> </u>	S 	SANITARY SEWER MANHOLE SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		SECTION/TIE_LINE SIDEWALK
Includent of the second	(\$109)	SIGN
	#FFE=1320	SPOT ELEVATION
RARARARARARAR	#Ftt= 10-	STABILIZED CONSTRUCTION ENT.
	6	STORM SEWER INLET
		STORM SEWER PIPE
		STRIPE (PAINTED OR STICKY)
	$\overline{\mathbb{O}}$	TELEPHONE PED/MANHOLE
		TELEPHONE (UNDERGROUND)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
X	X	WATER MAIN BLOWOFF VALVE
¥	•	WATER MAIN FIRE DEPT. CONN.
·		WATER MAIN PIPE
		WATER MAIN REDUCER
		WATER MAIN THRUST BLOCK
l'	W	WAIER MEIER
	() ()	WATER METER WATER METER (IRRIGATION)

NOTES:

- 1. ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.
- 2. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.
- 3. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

UTILITY NOTES:

- 1. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- 2. ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED THE FAYETTEVILLE WATER DEPARTMENT.
- 3. NOTIFY THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE.
- 4. CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.



REVEGETATION NOTES: REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE THE FOLLOWING:

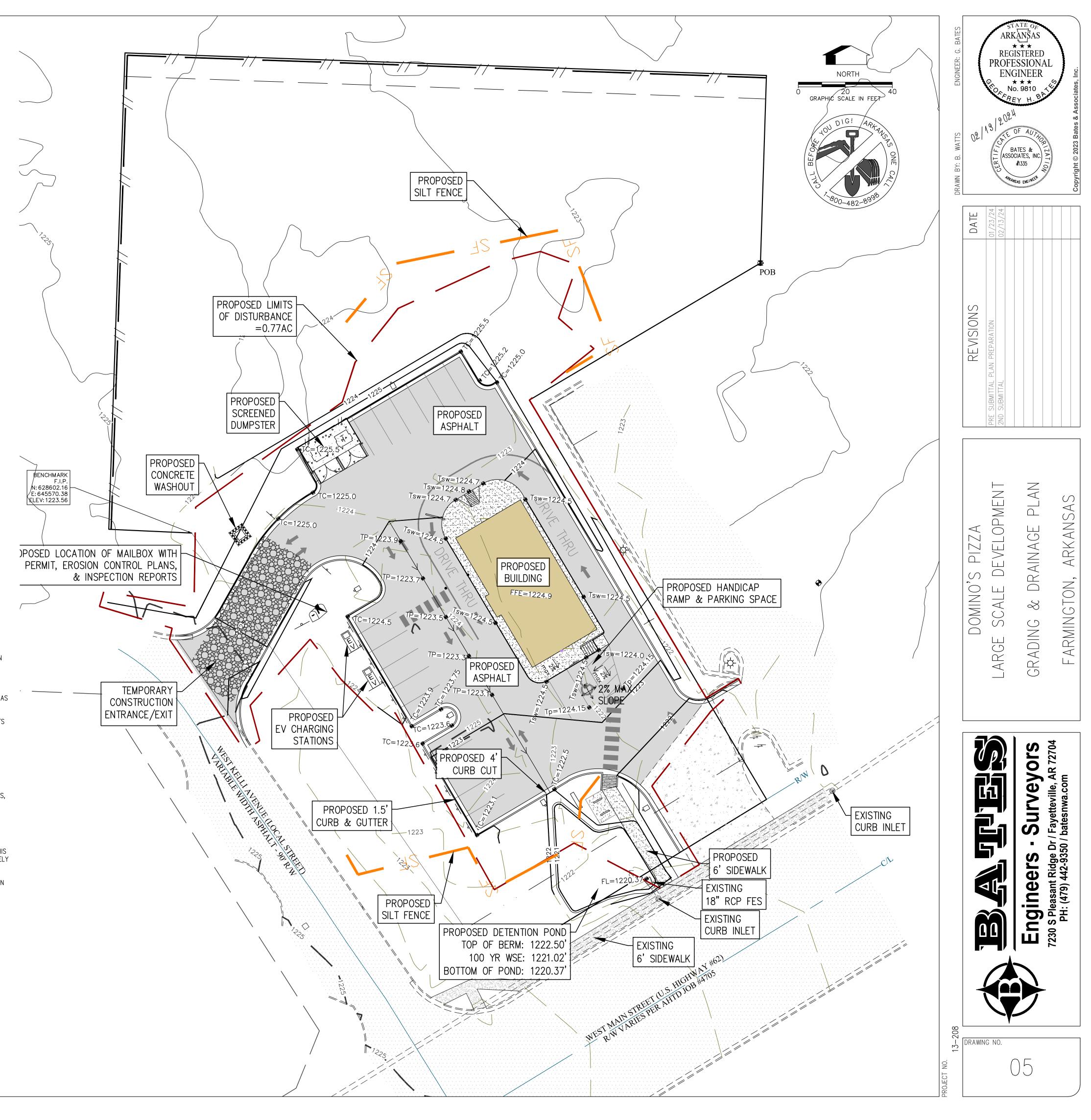
- PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- TOP SOIL. TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- EXISTING VEGETATION. EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
- SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE- VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
- 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.

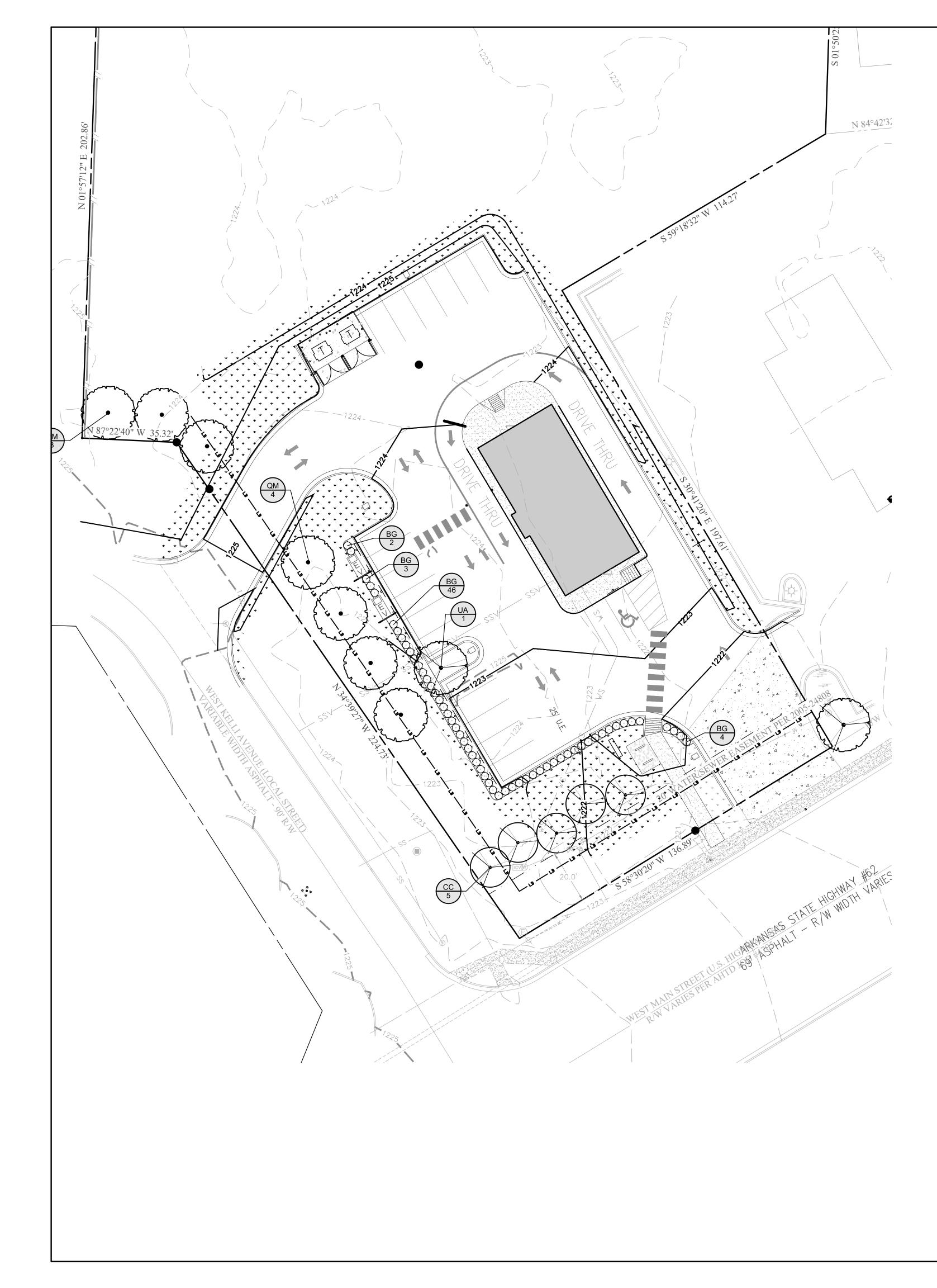
CONSTRUCTION NOTES:

- 1. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- 2. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
- 3. ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDED WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
- 5. ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
- 6. ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELED OR SWEPT AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
- 7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF FARMINGTON OR THEIR REPRESENTATIVE. 48 HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.

SEDIMENT & EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
- 2. CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
- 3. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
- 4. ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
- 5. THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRICTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION





PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT		QTY
	сс	Carpinus betulus 'Columnaris' / Dwarf Columnar European Hornbeam	2.5" Cal.	B&B or Cont.	8` min.		5
\bigcirc	UA	Ulmus americana / American Elm	2.5" Cal.	B&B or Cont.	8` min.		2
SHADE TRE	ES						
\bigcirc	QM	Quercus muehlenbergii / Chinkapin Oak	2.5" Cal.	B&B	10` min.		7
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		SPACING	QTY
SHRUBS							
	BG	Buxus x `Green Mound` / Green Mound Boxwood	2 gal.			36" o.c.	55
SYMBOL		BOTANICAL / COMMON NAME					QTY
SOD/SEED * * * * * *	СТ	Cynodon dactylon `Tif 419` / Bermuda Grass					7,740 sf

CITY LANDSCAPE REQUIREMENTS

TOTAL SITE AREA:	85,813 SF
STREET BUFFER W. KELLI AVE. FRONTAGE LENGTH: STREET TREES REQUIRED:	136 LF 6 TREES (1 PER 30 LF OF FRON
STREET TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	6 TREES 23 SHRUBS (5 PER 30 LF OF FR 23 SHRUBS PROVIDED
W. KELLI AVE. FRONTAGE LENGTH: STREET TREES REQUIRED: STREET TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	224 LF 7 TREES (1 PER 35 LF OF FRON 7 TREES 32 SHRUBS (5 PER 35 LF OF FR 32 SHRUBS PROVIDED
SIDE PERIMETER BUFFER PERIMETER LENGTH: N/A (WAIVER FILED)	
FOUNDATION PLANTINGS	

FOUNDATION PLANTINGS N/A (WAIVER FILED)

PARKING LOT LANDSCAPING 1 TREE PER LANDSCAPED ISLAND

LANDSCAPE GENRAL NOTES

1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING

1 TREE PROVIDED

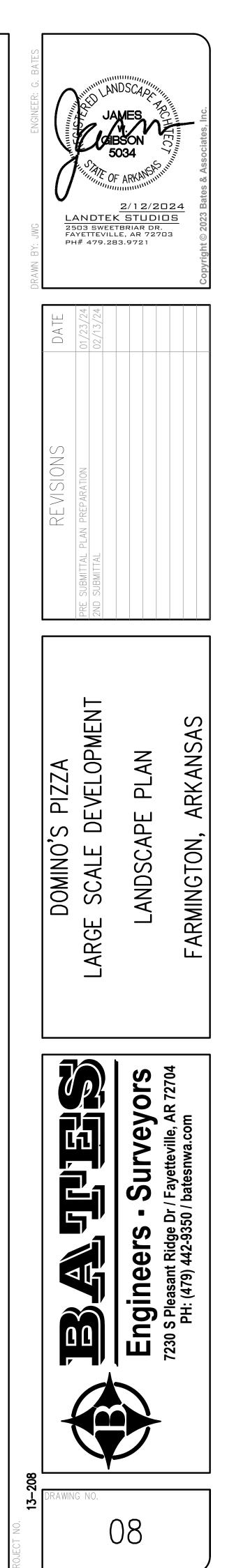
- ARKANSAS ONE-CALL TO CONFIRM ALL UTILITIES. 2. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- 3. TANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM
- QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 4. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST. 5. ALL REQUIRED TREES SHALL BE 2" MINIMUM CALIPER, WITH A SINGLE DOMINATE CENTRAL LEADER. MULTI LEADERED TREES WILL NOT BE ACCEPTABLE
- WITHOUT PRIOR APPROVAL FROM URBAN FORESTRY.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED, UNLESS SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
 ALL TREES AND SHRUBS SHALL BE INSTALLED PER STANDARD CITY OF FAYETTEVILLE PLANTING DETAILS.
- 8. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
- 9. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED WITH A 4" LAYER OF ORGANIC HARDWOOD MULCH. MULCH SHALL BE NOT BE PLACED IMMEDIATELY ADJACENT TO TREE TRUNKS, BUT SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE.
- 10. ALL PROPOSED PLANTING AREAS COVERED BY GRASS SHALL HAVE THE SOD COMPLETELY REMOVED BEFORE PLANTING BEGINS. 11. ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING MATERIAL OTHER THAN VEGETATION. 12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL
- UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER. 13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER. 15. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL
- ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD. 16. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM
- THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. 17. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND
- SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS. 18. ALL DISTURBED SHALL BE SODDED WITH 100% BERMUDA GRASS SOD
- 19. IRRIGATION SHALL BE EITHER AN UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'. 20. MAINTENANCE: THE CURRENT OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE ONGOING MAINTENANCE OF REQUIRED LANDSCAPING. 21. REPLACEMENT LANDSCAPING: REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED SHALL BE REMOVED AND REPLACED BY THE CURRENT OWNER OF THE PROPERTY. THE OWNER SHALL HAVE 60 DAYS FROM THE RECEIPT OF WRITTEN NOTICE ISSUED BY THE CITY TO REMOVE AND REPLACE ANY REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED.

20 GRAPHIC SCALE IN FEET

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LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

PROVIDE TREES, SHRUBS, GROUND COVERS, SOD, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:

- 1. SOIL PREPARATION. 2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
- 3. PLANTING MIXES. 4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.

5. MAINTENANCE.

RELATED WORK 1. IRRIGATION SYSTEM; SEE IRRIGATION SPECIFICATIONS (SHEET L-2.2)

QUALITY ASSURANCE

PLANT NAMES INDICATED; COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE PLANTS INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH APPROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HEELED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS; AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.

MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE

- INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE. 1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN
 - COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES. PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS. THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO; ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION

PART 2 - PRODUCTS

MATERIALS

CONSTRUCTION SET.

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.

2. CONTAINER- GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE. a. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.

- b. CONTAINER STOCK SHALL NOT BE POT BOUND.
- 3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM. 4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
- a. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT. 5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP
- BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- 6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES. 7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
- 8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
- b. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED. c. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED
- TO THE GROUND. d. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES TOPSOIL: SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8.

BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MUCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS. 1. HARDWOOD: 6 MONTH OLD WELL ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM

- DEPTH OF 3".
- GUYING/STAKING

1. ARBORTIE: GREEN (OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL, ¾" WIDE 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE. 2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

PART 3 - EXECUTION

INSPECTION PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT; SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2" - 3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MUDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS. 1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

MULCHING 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

WRAPPING, GUYING, STAKING BEFORE WRAPPING.

2.	WRAP	PING:
	a.	WRAP TRUNKS OF
		FROM BOTTOM TO
	b.	OVERLAP 1/2 THE V

C.	SECURE TREE WR
	DIRECTION, TIED A
Ч	

RAP IN PLACE WITH TWINE WOUND SPIRALLY DOWNWARD IN THE OPPOSITE AROUND THE TREE IN AT LEAST 3 PLACES IN ADDITION TO THE TOP AND BOTTOM. d. WRAP THE TREES IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING

- 3. STAKING/GUYING:
- ACCEPTANCE.

PRUNING:

WORKMANSHIP

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE; UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

MAINTENANCE

REPRESENTATIVE.

- FREE OF INSECTS AND DISEASE.
- MATERIAL AND REMOVE DEAD MATERIAL
- WEATHER AND SEASON PERMIT.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES,

1. SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.

2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH. 3. LANDSCAPE ISLANDS/MEDIANS: FRACTURE/LOOSEN EXISTING SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.

2. RIVER ROCK: (COLOR) LIGHT GRAY TO BUFF TO DARK BROWN, WASHED RIVER ROCK, 1" - 3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE PLANT MATERIAL.

1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION, AND IMPROPER PRUNING

F ALL YOUNG NEWLY PLANTED TREES KNOWN TO HAVE THIN BARK. WRAP SPIRALLY O TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WIDTH OF THE TREE WRAP STRIP AND COVER THE TRUNK FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH.

e. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREES DEVELOP CORKY BARK.

a. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING OPERATIONS AND PRIOR TO

b. STAKE DECIDUOUS TREES 2" CALIPER AND LESS. STAKE EVERGREEN TREES UNDER 7'-0" TALL. 4. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL. 5. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH. a. GUY DECIDUOUS TREES OVER 2" CALIPER. GUY EVERGREEN TREES 7'-0" TALL AND OVER.

i. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL, WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND. ii. TIES ARE ATTACHED TO THE TREE AS HIGH AS PRACTICAL.

6. THE AXIS OF THE STAKE SHOULD BE AT 90-DEGREE ANGLE TO THE AXIS ON THE PULL OF THE GUY WIRE. 7. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

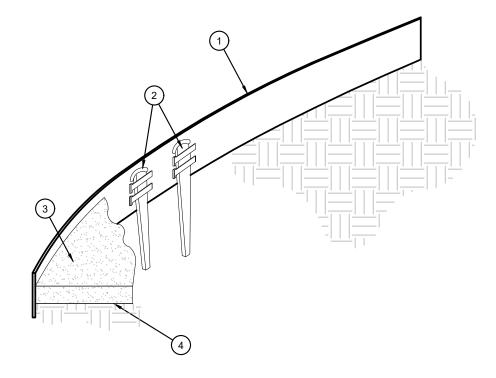
CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S

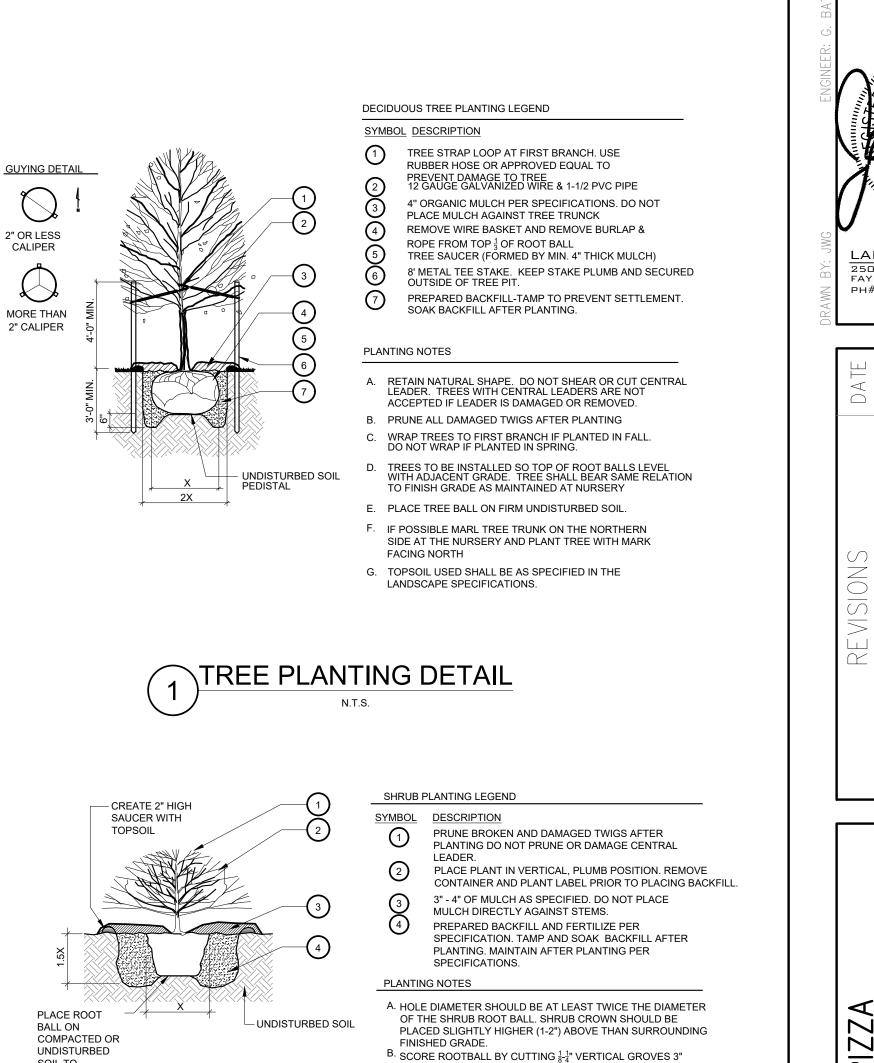
MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS

1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT

2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR. 3. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND

4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.





(1) ROLLED-TOP STEEL EDGING PER PLANS.

(2) TAPERED STEEL STAKES.

(3) MULCH, TYPE AND DEPTH PER PLANS.

(4) FINISH GRADE.

INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



SOIL TO PREVENT PLANT FROM SETTLING

(2) CONTAINER SHRUB PLANTING DETAIL

APART

B. SPACE PLANTS PER PLANTING PLAN

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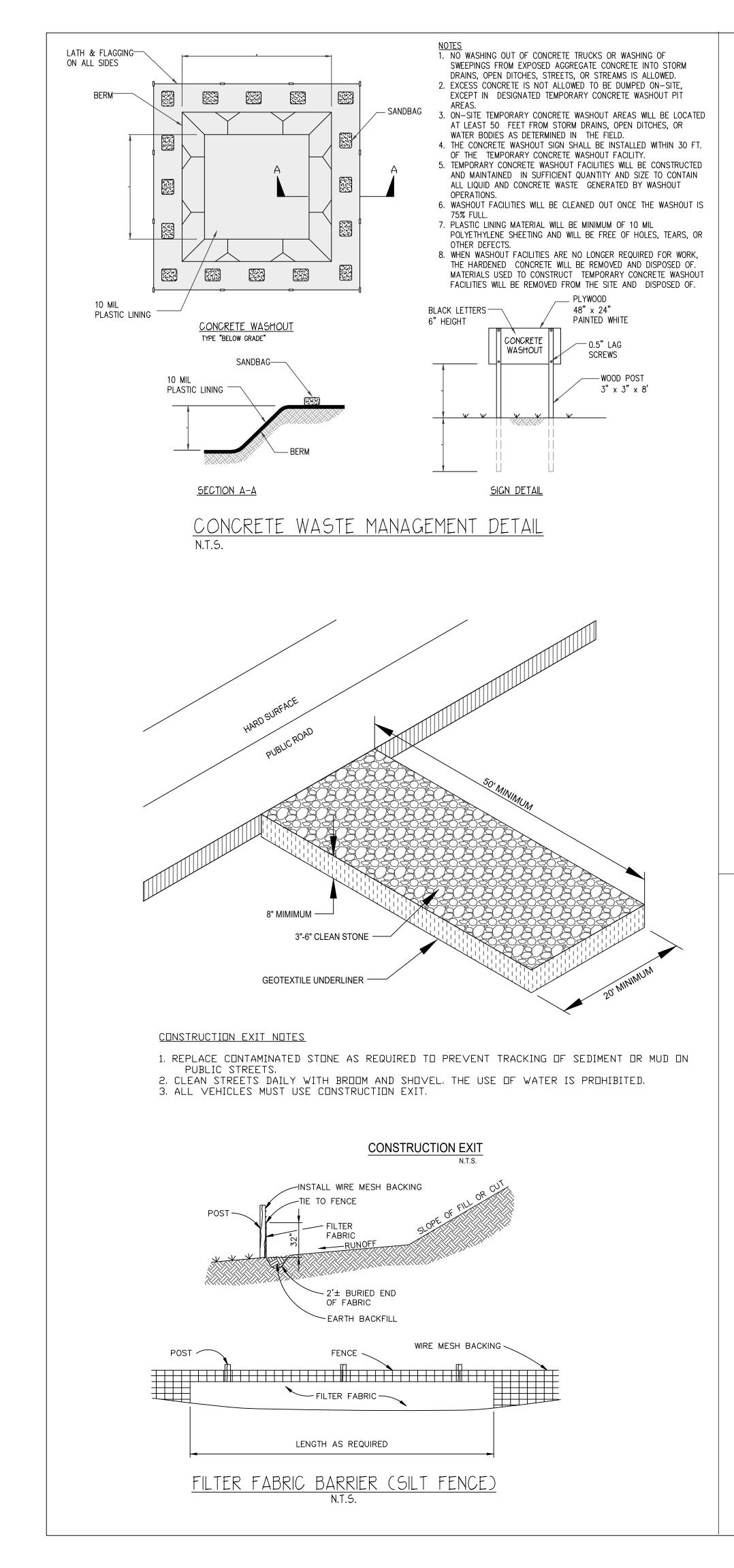
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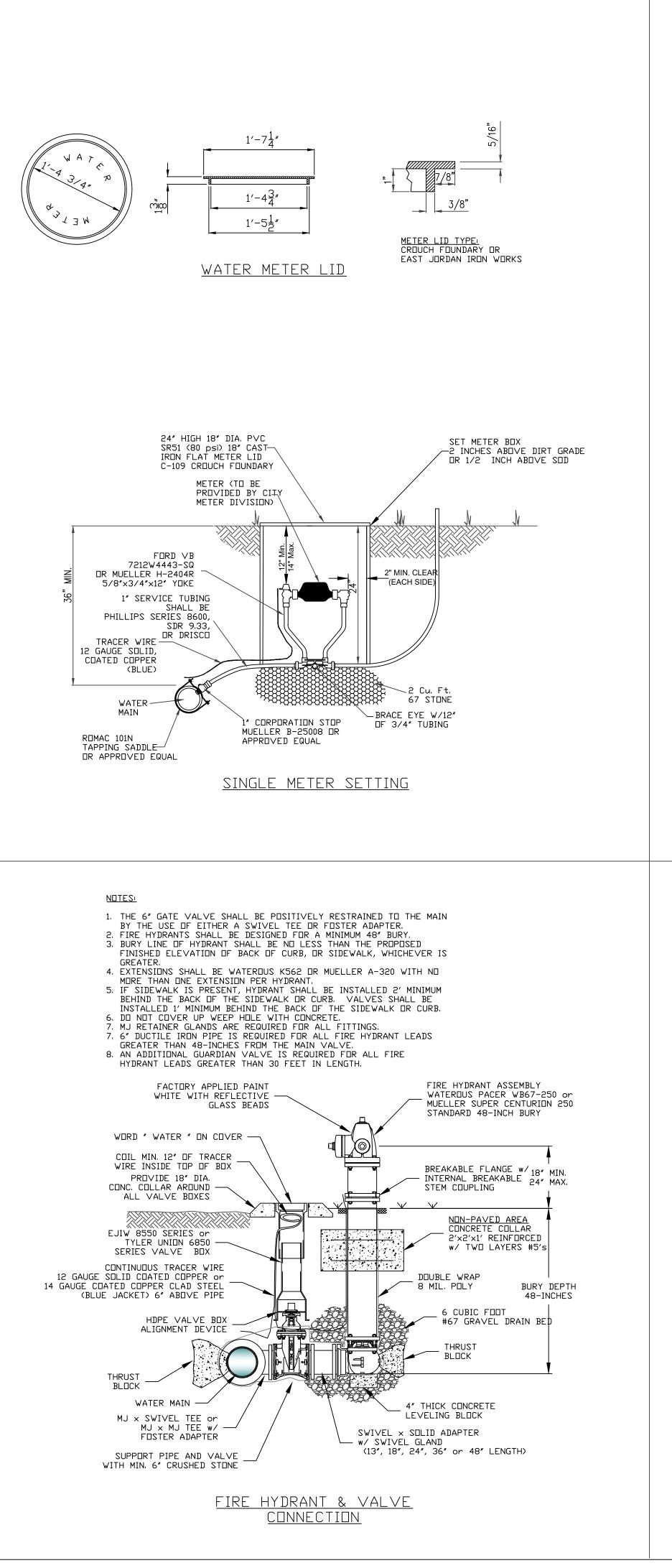
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